

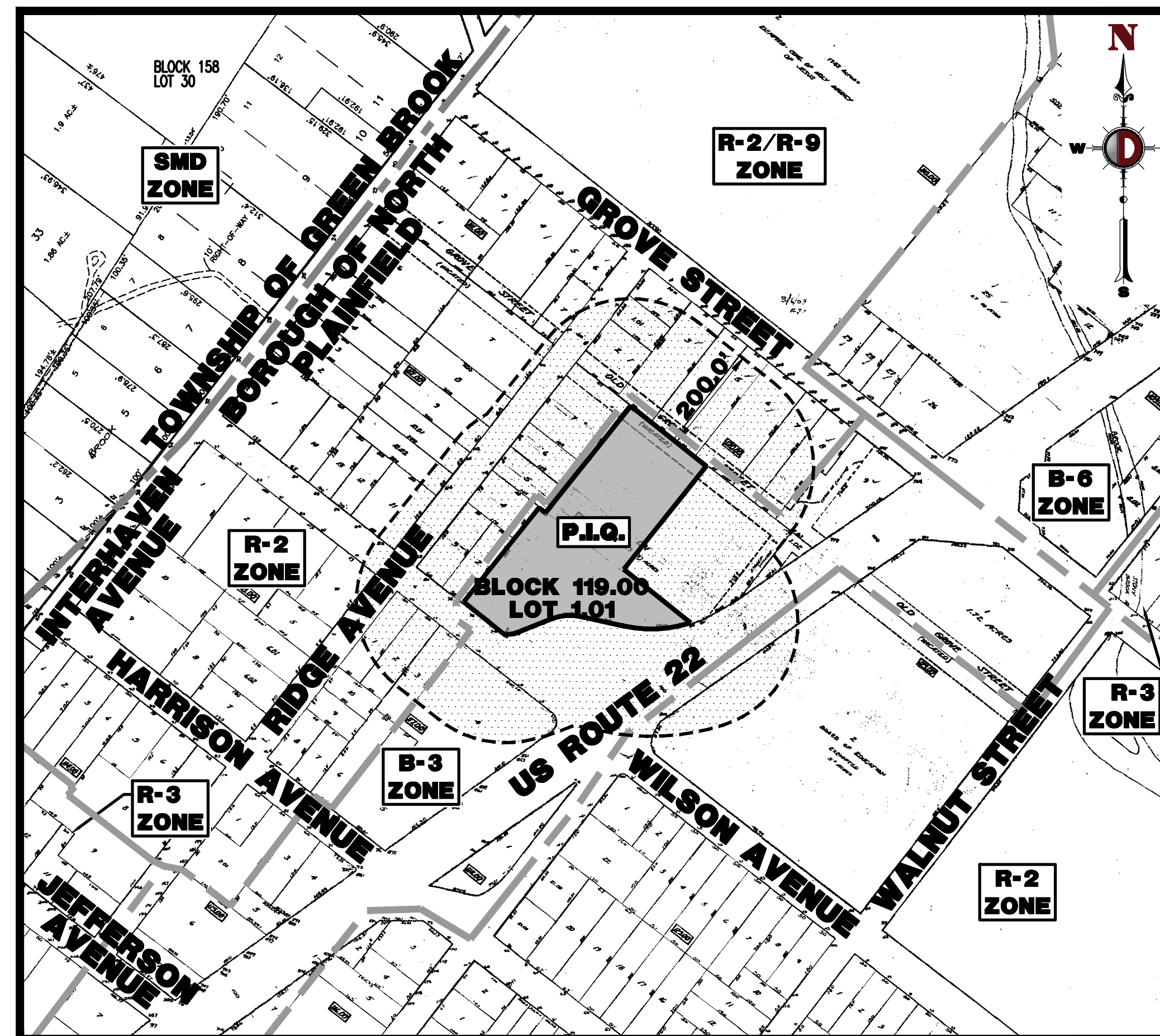
AMENDED PRELIMINARY AND FINAL MAJOR SITE PLAN

FOR INSITE DEVELOPMENT PARTNERS, LLC PROPOSED 4-STORY SELF STORAGE FACILITY

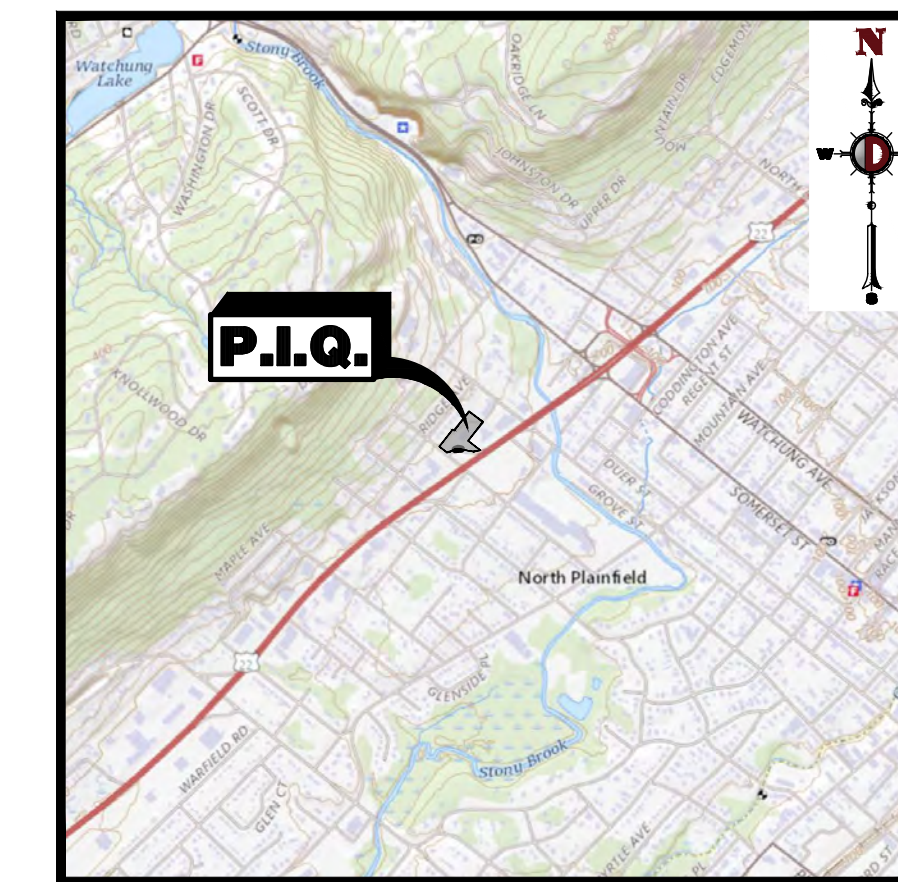
BLOCK 119.00, LOT 1.01; TAX MAP SHEET #30 - LATEST REV. DATED 01-01-1988
US ROUTE 22 & WILSON AVENUE
BOROUGH OF NORTH PLAINFIELD
SOMERSET COUNTY, NEW JERSEY

200' PROPERTY OWNERS LIST

PROPERTY OWNER	BLOCK	LOT	PROPERTY OWNER	BLOCK	LOT
CRAMFORD, RICHARD 121 RIDGE AVENUE NORTH PLAINFIELD, NJ 07060	119.0	2.01	BORELL, DARRIN M. 116 RIDGE AVENUE NORTH PLAINFIELD, NJ 07060	112.0	10.02
CHAIKIN, NAIMAN & WRENDER 117 RIDGE AVENUE NORTH PLAINFIELD, NJ 07060	119.0	3.01	LOPEZ, KRISTLE E. & ESCOBAR, DARWIN 120 RIDGE AVENUE NORTH PLAINFIELD, NJ 07060	112.0	11.01
WILLIAMS, DAMAN & ALFARO, CECILIA 113 RIDGE AVENUE NORTH PLAINFIELD, NJ 07060	119.0	4	DAZ, KATHERINE NAZARIO 124 RIDGE AVENUE NORTH PLAINFIELD, NJ 07060	112.0	11.02
RUZZO, ANTHONY & LELA 111 RIDGE AVENUE NORTH PLAINFIELD, NJ 07060	119.0	5	ROPER, WILLIAM A. & CHARLOTTE M. 90 RIDGE AVENUE NORTH PLAINFIELD, NJ 07060	111.0	7
GONZALEZ, SILVA ET AL 107 RIDGE AVENUE NORTH PLAINFIELD, NJ 07060	119.0	6	HELMAN, BRUCE J. 155 RIDGE AVENUE NORTH PLAINFIELD, NJ 07060	117.0	1
COOPER, KEVIN & COOPER, SAMSEKETHA 95-103 RIDGE AVENUE NORTH PLAINFIELD, NJ 07060	119.0	7	PLAINFIELD 22 DEVELOPERS LLC 1159 ROUTE 70 32000 LAKEWOOD, NJ 08701	117.0	2, 3, 4
AHMED, SALUAD 411 GROVE STREET NORTH PLAINFIELD, NJ 07060	120.0	1	O'REILLY, GREGORY T. PO BOX 4204 WARREN, NJ 07059	113.0	4
AHMED, BAJA ALI & SHAKOOR, RAJA A 79 RIDGE AVENUE NORTH PLAINFIELD, NJ 07060	120.0	1.01	NORTH PLAINFIELD BOARD OF EDUCATION 33 MOUNTAIN AVENUE NORTH PLAINFIELD, NJ 07060	123.0	2
FOR JOY LLC PO BOX 2917 PLAINFIELD, NJ 07062	120.0	2	ALSO TO BE NOTIFIED:		
405 GROVE STREET LLC 405-409 GROVE STREET NORTH PLAINFIELD, NJ 07060	120.0	3	DONNA SHORT GIS SUPERVISOR NEW JERSEY AMERICAN WATER COMPANY, INC. 1025 LAUREL OAK ROAD VODORRES, NJ 08043		
DAZ-NAVARRETE, LUIS 401 GROVE STREET NORTH PLAINFIELD, NJ 07060	120.0	4	PLAINFIELD AREA REGIONAL SEWERAGE AUTHORITY 200 CLAY AVENUE MIDDLESEX, NJ 08846		
301-399 GROVE STREET, LP 22 ESTHER COURT LAKEWOOD, NJ 08701	120.0	5	PUBLIC SERVICE ELECTRIC AND GAS COMPANY MANAGER - CORPORATE PROPERTIES 80 PARK PLAZA, 76B NEWARK, NJ 07102		
CABRERA, MANUEL & CABRERA, ADELA 387 GROVE STREET NORTH PLAINFIELD, NJ 07060	120.0	7	VERIZON 540 BROAD STREET NEWARK, NJ 07101		
MROSSIA REALTY, LLC 20225 NE 18 TH PLACE MIAMI, FL 33179	120.0	8	COMCAST OF PLAINFIELD, LLC GENERAL MANAGER 800 RAINWAY AVENUE UNION, NJ 07083		
BRANDON REALTY, LLC % RYAN PROPERTY PO BOX 460198 HOUSTON, TX 77056	119.0	1.03			
HERNANDEZ, ANGEL R. 98 RIDGE AVENUE NORTH PLAINFIELD, NJ 07060	112.0	7			
SALEM, CHAUDHRY M. & SULTANA, FARHAT 108 RIDGE AVENUE NORTH PLAINFIELD, NJ 07060	112.0	8			
KROM, ETHEL & KROM, ROBERT E. & ELYSA 112 RIDGE AVENUE NORTH PLAINFIELD, NJ 07060	112.0	9			
114 RIDGE ASSOCIATES LLC 388 SOMERSET STREET NORTH PLAINFIELD, NJ 07060	112.0	10.01			



AREA MAP
1" = 200'



KEY MAP
1" = 2000'

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New York, NY: 973.974.0198 | Washington, DC: 973.974.0198 | Baltimore, MD: 973.974.0198 | Pittsburgh, PA: 973.974.0198

TITLE: **COVER SHEET**

PROJECT: **INSITE DEVELOPMENT PARTNERS, LLC
PROPOSED 4-STORY SELF STORAGE FACILITY**

BLOCK 119.00, LOT 1.01
US ROUTE 22 & WILSON AVENUE
BOROUGH OF NORTH PLAINFIELD, SOMERSET COUNTY, NEW JERSEY

JOB No: 3041-99-010 DATE: 09/13/2022

DRAWN BY: NSR SCALE: (H) AS SHOWN (V) SHOWN

DESIGNED BY: LPG SHEET No: 1

CHECKED BY: TJM

THOMAS J. MULLER
PROFESSIONAL ENGINEER
NEW JERSEY LICENSE No. 52179

JOHN A. PALUS
PROFESSIONAL ENGINEER
NEW JERSEY LICENSE No. 41975

811 PROTECT YOURSELF
ALL UTILITIES REQUIRE NOTIFICATION OF
DEEPER UTILITIES OF ANY DEPTH
BEFORE ANY EXCAVATION OR DRILLING
OPERATIONS TO AVOID THE RISK OF
SERIOUS INJURY OR DEATH.

FOR STATE SPECIFIC DIRECT PHONE NUMBERS VISIT:
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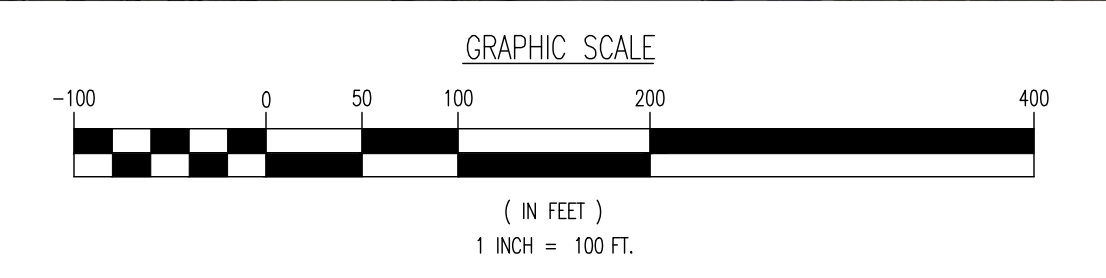
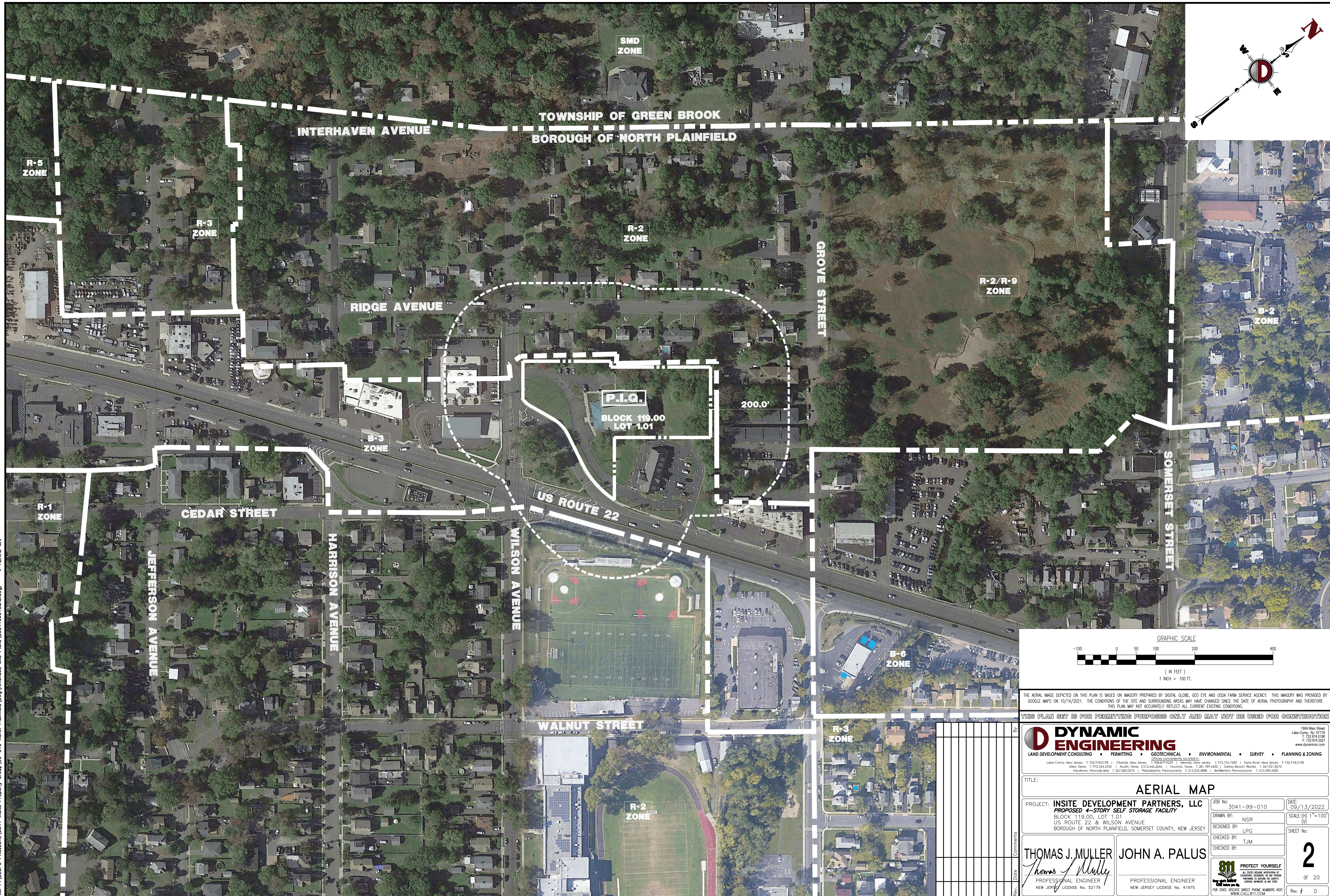
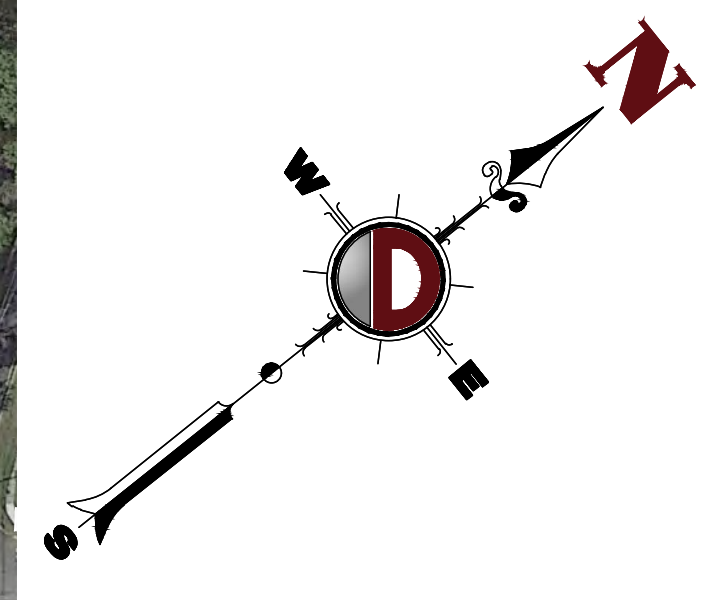
Rev. # 0

PREPARED BY
DYNAMIC ENGINEERING CONSULTANTS, P.C.
1904 MAIN STREET
LAKE COMO, NJ 07719
WWW.DYNAMICCEC.COM

ZONING BOARD OF ADJUSTMENT APPROVAL

APPROVED BY THE ZONING BOARD OF ADJUSTMENT OF NORTH PLAINFIELD, SOMERSET COUNTY, NEW JERSEY.

CHAIRPERSON	DATE
SECRETARY	DATE
BOARD ENGINEER	DATE



THE AERIAL IMAGE DEPICTED ON THIS PLAN IS BASED ON IMAGERY PREPARED BY DIGITAL GLOBE, GEO EYE AND USDA FARM SERVICE AGENCY. THIS IMAGERY WAS PROVIDED BY GOOGLE MAPS ON 10/14/2021. THE CONDITIONS OF THE SITE AND SURROUNDING AREAS MAY HAVE CHANGED SINCE THE DATE OF AERIAL PHOTOGRAPHY AND THEREFORE THIS PLAN MAY NOT ACCURATELY REFLECT ALL CURRENT EXISTING CONDITIONS.

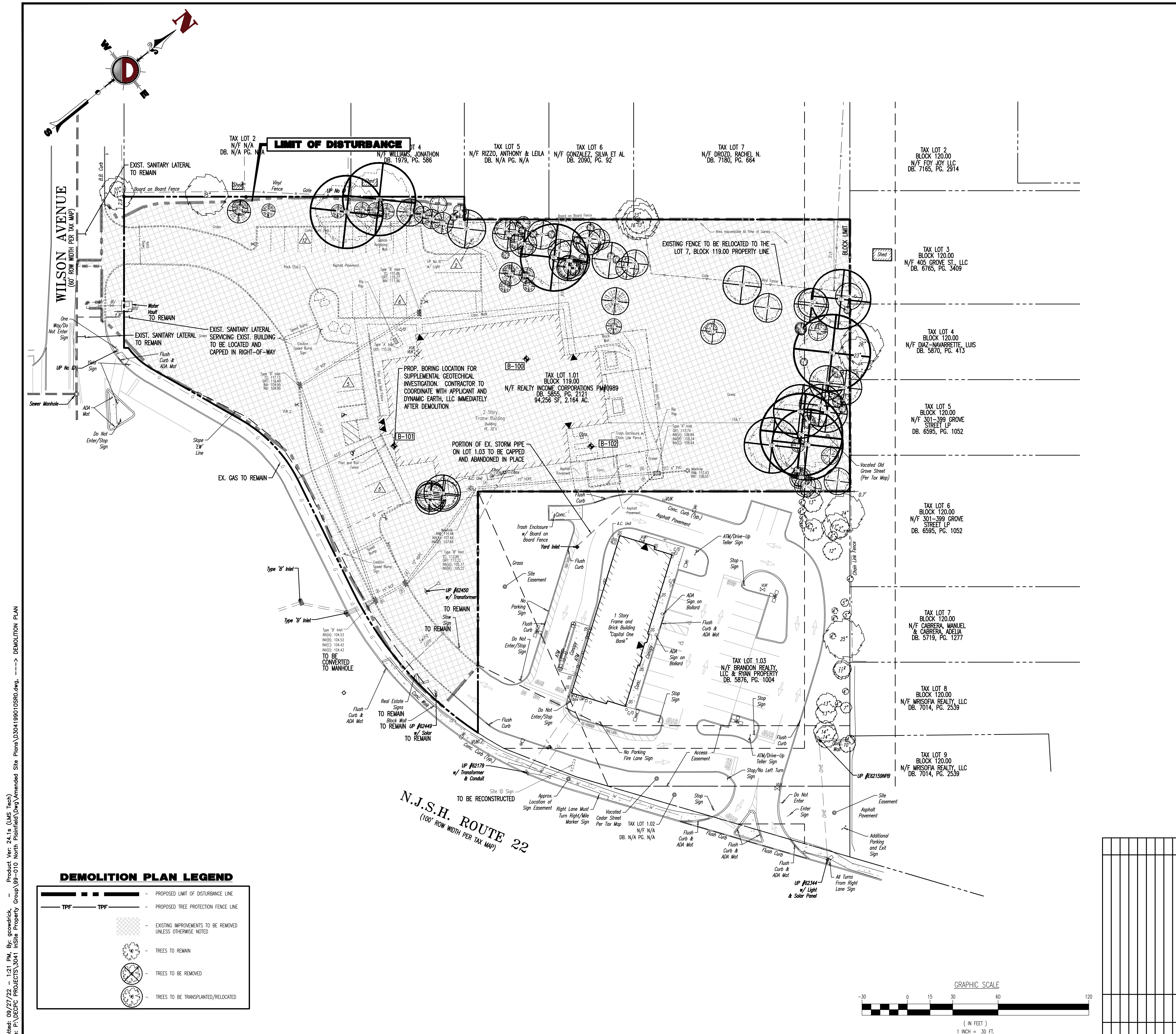
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 www.dynamicoc.com

TITLE: AERIAL MAP		JOB No: 3041-99-010	DATE: 09/13/2022
PROJECT: INSITE DEVELOPMENT PARTNERS, LLC PROPOSED 4-STORY SELF STORAGE FACILITY		DRAWN BY: NSR	SCALE: (H) 1"=100' (V)
BLOCK 119.00, LOT 1.01 US ROUTE 22 & WILSON AVENUE BOROUGH OF NORTH PLAINFIELD, SOMERSET COUNTY, NEW JERSEY		DESIGNED BY: LPG	SHEET No:
THOMAS J. MULLER <i>Thomas J. Muller</i> PROFESSIONAL ENGINEER NEW JERSEY LICENSE No. 52179		CHECKED BY: TJM	2 Of 20
JOHN A. PALUS PROFESSIONAL ENGINEER NEW JERSEY LICENSE No. 41975			

Plotted: 09/27/22 - 1:21 PM, By: gowdrick, Product Ver: 24.1s (LMS Tech)
 File: P:\VEPC PROJECTS\3041 InSite Property Group\30-010 North Plainfield\DWG\Amended Site Plans\30411990105A0.dwg, ----> AERIAL MAP

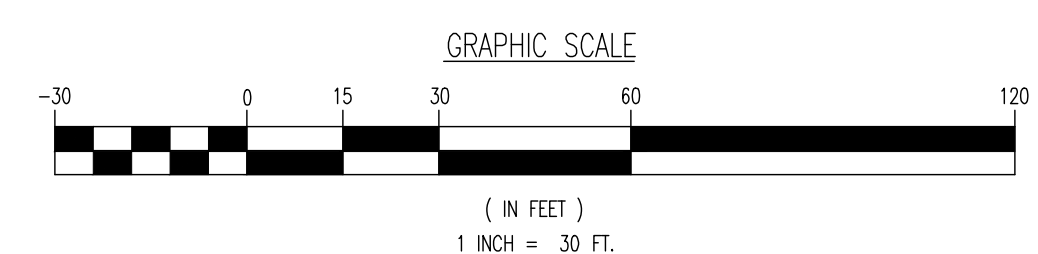
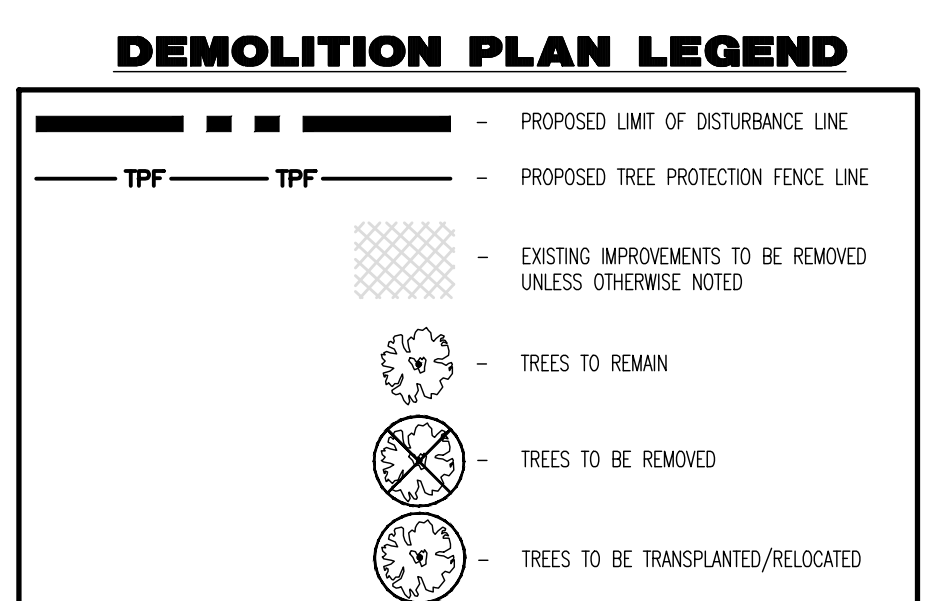


- ### DEMOLITION NOTES
- ALL DEMOLITION ACTIVITIES ARE TO BE PERFORMED IN STRICT ADHERENCE TO ALL FEDERAL, STATE AND LOCAL REGULATIONS.
 - PROCEED WITH DEMOLITION IN A SYSTEMATIC MANNER, FROM THE TOP OF THE STRUCTURE(S) TO THE GROUND.
 - COMPLETE DEMOLITION WORK ABOVE EACH FLOOR OR TIER BEFORE DISTURBING ANY OF THE SUPPORTING MEMBERS OF THE LOWER LEVELS.
 - DEMOLISH CONCRETE AND MASONRY IN SMALL SECTIONS.
 - REMOVE STRUCTURAL FRAMING MEMBERS AND LOWER THEM TO THE GROUND BY MEANS OF HOSTS, DERRICKS OR OTHER SUITABLE METHODS.
 - BREAK UP CONCRETE SLABS-ON-GRADE, UNLESS OTHERWISE DIRECTED BY OWNER.
 - LOCATE DEMOLITION EQUIPMENT THROUGHOUT THE STRUCTURE AND REMOVE MATERIALS SO AS TO NOT IMPOSE EXCESSIVE LOADS ON SUPPORTING WALLS, FLOORS, OR TRUSSING.
 - PROVIDE INTERIOR AND EXTERIOR SHORING, BRACING AND SUPPORTS TO PREVENT MOVEMENT, SETTLEMENT OR COLLAPSE OF STRUCTURES TO BE DEMOLISHED (AND ADJACENT FACILITIES, IF APPLICABLE).
 - DEMOLISH AND REMOVE ALL FOUNDATION WALLS, FOOTINGS AND OTHER MATERIALS WITHIN THE AREA OF THE DESIGNATED FUTURE BUILDING; ALL OTHER FOUNDATION SYSTEMS, INCLUDING BASEMENTS, SHALL BE DEMOLISHED TO A DEPTH OF NOT LESS THAN ONE FOOT BELOW PROPOSED FINISH GRADE OR BREAK BASEMENT FLOOR SLABS. SEAL ALL OPEN UTILITY LINES WITH CONCRETE. CONTRACTOR TO REVIEW STRUCTURE PRIOR TO DEMOLITION TO DETERMINE IF BASEMENT, CRAWL SPACE OR ANY SUB-STRUCTURE EXISTS. ANY SUB-STRUCTURE, INCLUDING BASEMENTS SHALL BE REMOVED IN ITS ENTIRETY OR AS DIRECTED BY OWNER.
 - DRECT AND MAINTAIN COVERED PASSAGEWAYS IN ORDER TO PROVIDE SAFE PASSAGE FOR PERSONS AROUND THE AREA OF DEMOLITION. CONDUCT ALL DEMOLITION OPERATIONS IN A MANNER THAT WILL PREVENT DAMAGE AND PERSONAL INJURY TO STRUCTURES, ADJACENT BUILDINGS AND ALL PERSONS.
 - REFRAIN FROM USING ANY EXPLOSIVES WITHOUT PRIOR WRITTEN CONSENT OF OWNER AND APPLICABLE GOVERNMENTAL AUTHORITIES.
 - CONDUCT DEMOLITION SERVICES IN SUCH A MANNER TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, WALKS AND OTHER ADJACENT FACILITIES. DO NOT CLOSE OR OBSTRUCT STREETS, WALKS, OR OTHER OCCUPIED FACILITIES WITHOUT PRIOR WRITTEN PERMISSION OF OWNER AND ANY APPLICABLE GOVERNMENTAL AUTHORITIES. PROVIDE ALTERNATE ROUTES AROUND BLOTTED OR OBSTRUCTED WAYS, IF REQUIRED BY APPLICABLE GOVERNMENTAL REGULATIONS.
 - USE WATERING, TEMPORARY ENCLOSURES AND OTHER SUITABLE METHODS, AS NECESSARY TO LIMIT THE AMOUNT OF DUST AND DIRT RISING AND SCATTERING IN THE AIR. CLEAN ADJACENT STREETS AND IMPROVEMENTS OF ALL DUST AND DEBRIS CAUSED BY THE DEMOLITION OPERATIONS. RETURN ALL ADJACENT AREAS TO THE CONDITIONS EXISTING PRIOR TO THE START OF WORK.
 - ACCOMPLISH AND PERFORM THE DEMOLITION IN SUCH A MANNER AS TO PREVENT THE UNAUTHORIZED ENTRY OF PERSONS AT ANY TIME.
 - COMPLETELY FILL BELOW GRADE AREAS AND VOIDS RESULTING FROM THE DEMOLITION OF STRUCTURES AND FOUNDATIONS WITH SOIL MATERIALS IN ACCORDANCE WITH THE GEOTECHNICAL REPORT, CONSISTING OF STONE, GRAVEL AND SAND, FREE FROM DEBRIS, TRASH, FROZEN MATERIALS, ROOTS AND OTHER ORGANIC MATTER. STONES USED WILL NOT BE LARGER THAN 6 INCHES IN DIMENSION. MATERIAL FROM DEMOLITION MAY NOT BE USED AS FILL PRIOR TO PLACEMENT OF FILL MATERIALS. UNDERSTAKE ALL NECESSARY ACTION IN ORDER TO ENSURE THAT AREAS TO BE FILLED ARE FREE OF STANDING WATER, FROST, FROZEN MATERIAL, TRASH, DEBRIS. PLACE FILL MATERIALS IN HORIZONTAL LAYERS NOT EXCEEDING 6 INCHES IN LOOSE DEPTH AND COMPACT EACH LAYER AT PROVEN TO 95% OPTIMUM DENSITY. GRADE THE SURFACE TO MEET ADJACENT CONTOURS AND TO PROVIDE SURFACE DRAINAGE.
 - REMOVE FROM THE DESIGNATED SITE, AT THE EARLIEST POSSIBLE TIME, ALL DEBRIS, RUBBISH, SALVAGEABLE ITEMS, HAZARDOUS AND COMBUSTIBLE SERVICES. REMOVED MATERIALS MAY NOT BE STORED, SOLD OR BURNED ON THE SITE. REMOVAL OF HAZARDOUS AND COMBUSTIBLE MATERIALS SHALL BE ACCOMPLISHED IN ACCORDANCE WITH THE PROCEDURES AS AUTHORIZED BY THE FIRE DEPARTMENT OR OTHER APPROPRIATE REGULATORY AGENCIES AND AUTHORITIES.
 - DISCONNECT, SHUT OFF AND SEAL IN CONCRETE ALL UTILITIES SERVING THE STRUCTURE(S) TO BE DEMOLISHED BEFORE THE COMMENCEMENT OF THE DESIGNATED DEMOLITION. MARK FOR POSITION ALL UTILITY DRAINAGE AND SANITARY LINES AND ALL ACTIVE LINES. CLEARLY IDENTIFY BEFORE THE COMMENCEMENT OF DEMOLITION SERVICES THE REQUIRED INTERRUPTION OF ACTIVE SYSTEMS THAT MAY AFFECT OTHER PARTIES, AND NOTIFY ALL APPLICABLE UTILITY COMPANIES TO ENSURE THE CONTINUATION OF SERVICE.
 - THIS DEMOLITION PLAN IS INTENDED TO IDENTIFY THOSE EXISTING CONDITIONS WHICH ARE TO BE REMOVED. IT IS NOT INTENDED TO PROVIDE DIRECTION OTHER THAN THAT ALL PROCEDURES ARE TO BE IN ACCORDANCE WITH STATE, FEDERAL, LOCAL, AND JURISDICTIONAL REQUIREMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SAFETY PRECAUTIONS NECESSARY.

NOTES

- IN ACCORDANCE WITH STATE LAW, THE CONTRACTOR SHALL BE REQUIRED TO CALL THE BOARD OF PUBLIC UTILITIES ONE CALL DAMAGE PROTECTION SYSTEM OR UTILITY MARK OUT IN ADVANCE OF ANY EXCAVATION.
- CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING ALL EXISTING SITE IMPROVEMENTS AND UTILITIES. ALL DISCREPANCIES SHALL BE IDENTIFIED TO THE ENGINEER IN WRITING.
- ALL EXISTING UTILITIES TO BE ABANDONED SHALL BE DISCONNECTED AND CAPPED AT THE MAIN FOR WATER, AT THE CLEAN-OUT FOR SEWER AND THE SHUT-OFF VALVE OR MAIN FOR GAS IN ACCORDANCE WITH MUNICIPAL AND LOCAL UTILITY REQUIREMENTS.
- ALL EXISTING DEBRIS SHALL BE REMOVED BY CONTRACTOR IN ACCORDANCE WITH MUNICIPAL AND LOCAL UTILITY COMPANY REQUIREMENTS.

THE SITE SHALL BE FENCED DURING CONSTRUCTION IN A MANNER TO PROTECT AGAINST PUBLIC ENTRY ON THE PROPERTY.



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New York, Pennsylvania: 732.974.0198 | Philadelphia, Pennsylvania: 732.974.0198 | Baltimore, Pennsylvania: 732.974.0198

TITLE: _____

DEMOLITION PLAN

PROJECT: **INSITE DEVELOPMENT PARTNERS, LLC**
PROPOSED 4-STORY SELF STORAGE FACILITY

BLOCK 119.00, LOT 1.01
US ROUTE 22 & WILSON AVENUE
BOROUGH OF NORTH PLAINFIELD, SOMERSET COUNTY, NEW JERSEY

JOB No: 3041-99-010 DATE: 09/13/2022
DRAWN BY: GMC SCALE: (H) 1"=30'
DESIGNED BY: LPG (V)
CHECKED BY: TJM SHEET No:
CHECKED BY: _____

THOMAS J. MULLER
PROFESSIONAL ENGINEER
NEW JERSEY LICENSE No. 52179

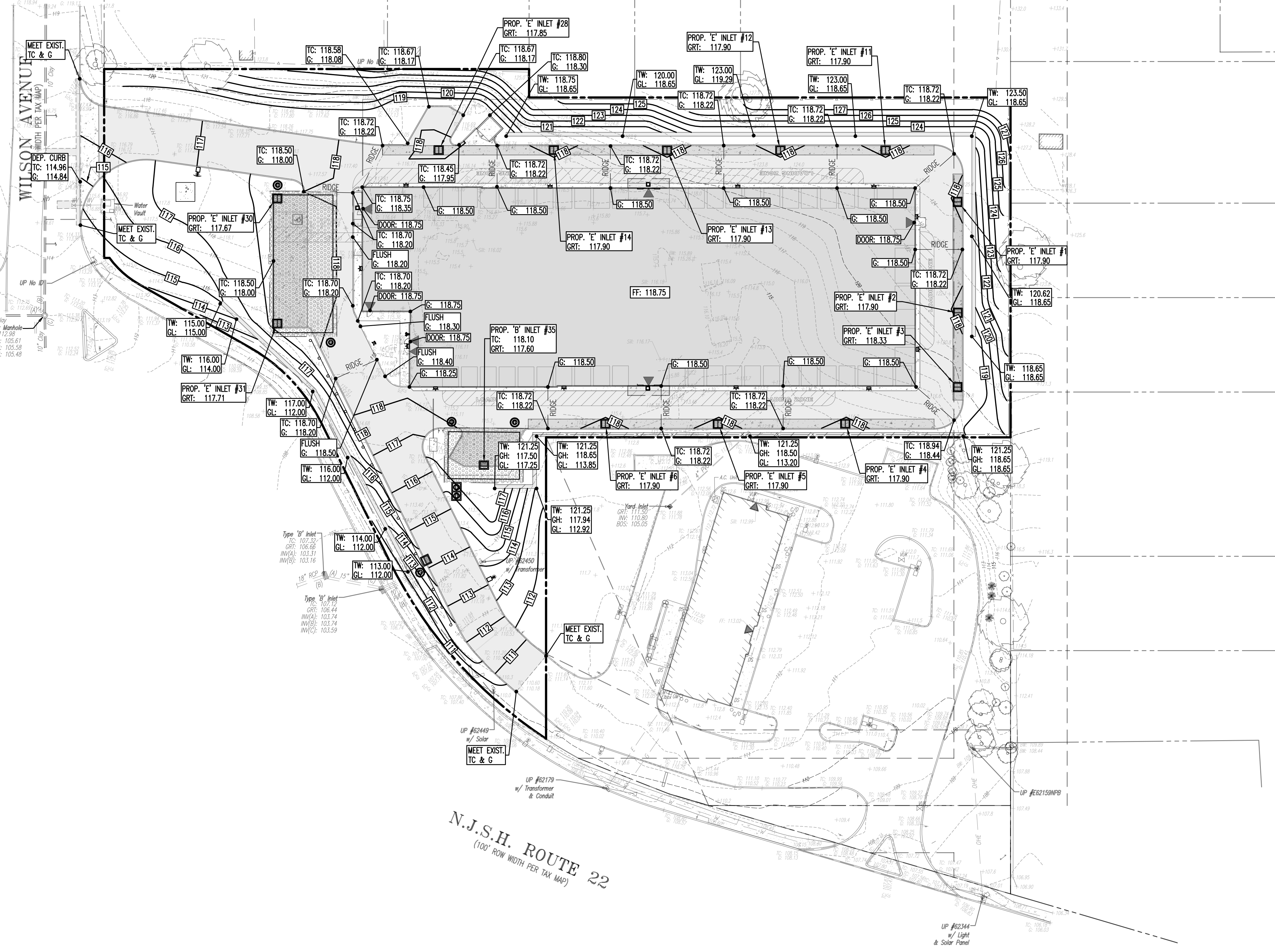
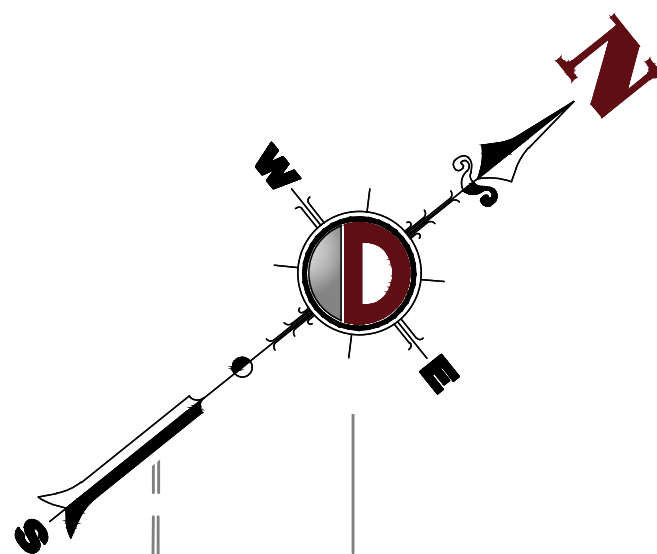
JOHN A. PALUS
PROFESSIONAL ENGINEER
NEW JERSEY LICENSE No. 41975

PROTECT YOURSELF
ALL UTILITIES REQUIRE REVISIONS OF
CONSTRUCTION PERMITS. IF ANY PERMIT
PREPARED TO VERIFY THE EXISTING
SERVICE UTILITIES, AS SHOWN.

FOR STATE-SPECIFIC DIRECT PHONE NUMBERS VISIT:
WWW.CALL811.COM

Rev. # 0

Plotted: 09/27/22 - 1:21 PM, By: gowdrick, Group: 99-010 North Plainfield, Dwg: Amended Site Plans\304199010SR0.dwg, --- DEMOLITION PLAN
 File: P:\BECPC PROJECTS\3041 InSite Property Group\99-010 North Plainfield\DWG\Amended Site Plans\304199010SR0.dwg



GRADING NOTES

1. SITE GRADING SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE SOILS REPORT REFERENCED IN THIS PLAN SET. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING AND REPLACING ALL SOFT, YIELDING OR UNSTABLE MATERIALS AND REPLACING WITH SUITABLE MATERIALS AS SPECIFIED IN THE SOILS REPORT. ALL EXCAVATED OR FILLED AREAS SHALL BE COMPACTED TO 95% OF MODIFIED PROCTOR MAXIMUM DENSITY PER AASHTO T-99. MOISTURE CONTENT AT TIME OF PLACEMENT SHALL NOT EXCEED 2% ABOVE NOR 3% BELOW OPTIMUM. CONTRACTOR SHALL SUBMIT COMPACTION REPORT PREPARED BY A QUALIFIED SOILS ENGINEER, REGISTERED WITHIN THE STATE, WHERE THE WORK IS PERFORMED, VERIFYING THAT ALL FILLED AREAS AND SUBGRADE AREAS WITHIN THE BUILDING PAD AREA AND AREAS TO BE PAVED HAVE BEEN COMPACTED IN ACCORDANCE WITH THESE PLANS AND SPECS AND THE RECOMMENDATIONS SET FORTH IN THE SOILS REPORT.
2. CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF EXISTING TOPOGRAPHIC INFORMATION AND UTILITY INVERT ELEVATIONS PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. CONTRACTOR TO ENSURE 0.75% MIN. SLOPE AGAINST ALL ISLAND GUTTERS, CURBS, AND 1.0% ON ALL CONCRETE SURFACES, AND 1-1/2% MIN. ON ASPHALT, TO PREVENT POOLING. ANY DISCREPANCIES THAT MAY AFFECT THE PUBLIC SAFETY OF THE PROJECT MUST BE IDENTIFIED TO THE ENGINEER IN WRITING IMMEDIATELY, PROCEEDING WITH CONSTRUCTION WITH DESIGN DISCREPANCIES IS DONE SO AT THE CONTRACTOR'S OWN RISK.
3. PROPOSED TOP OF CURB ELEVATIONS ARE GENERALLY 4" ABOVE EXISTING LOCAL ASPHALT GRADE UNLESS OTHERWISE NOTED. FIELD ADJUST TO CREATE A MIN. OF 0.75% GUTTER GRADE ALONG CURB FACE. ENGINEER TO APPROVE FINAL CURBING OUT SHEETS PRIOR TO INSTALLATION.
4. SUBBASE MATERIAL FOR SIDEWALKS, CURBS, OR ASPHALT SHALL BE FREE OF ORGANICS AND OTHER UNSUITABLE MATERIALS. SHOULD SUBBASE BE DETERMINED UNSUITABLE, SUBBASE IS TO BE REMOVED AND FILLED WITH APPROVED FILL MATERIAL COMPACTED TO 95% OPTIMUM DENSITY (AS DETERMINED BY MODIFIED PROCTOR METHOD).
5. REFER TO SITE PLAN FOR ADDITIONAL NOTES.
6. IN CASE OF DISCREPANCIES BETWEEN PLANS, THE SITE PLAN WILL SUPERCEDE IN ALL CASES. CONTRACTOR MUST NOTIFY ENGINEER OF RECORD OF ANY CONFLICT IMMEDIATELY.
7. MAXIMUM CROSS SLOPE OF 2% ON ALL SIDEWALKS.
8. CONTRACTOR TO ENSURE A MAXIMUM OF 2% SLOPE IN ALL DIRECTIONS IN ADA PARKING SPACES AND ADA ACCESS AISLES. CONTRACTOR TO ENSURE A MAXIMUM OF 5% RUNNING SLOPE AND 2% CROSS SLOPE ALONG ALL OTHER PORTIONS OF ACCESSIBLE ROUTE WITH THE EXCEPTION OF RAMPS AND CURB RAMPS. CONTRACTOR SHALL CLARIFY ANY QUESTIONS CONCERNING CONSTRUCTION IN ADA AREAS WITH THE ENGINEER PRIOR TO THE START OF CONSTRUCTION.
9. THE OWNER SHALL RETAIN DYNAMIC PARTNERS, LLC (202-879-7095) OR ALTERNATE QUALIFIED GEOTECHNICAL ENGINEER TO TEST SOIL PERMEABILITY AND PROVIDE CONSTRUCTION PHASE INSPECTIONS OF THE BASIN BOTTOM SOILS AND ANY FILL MATERIALS WITHIN ANY PROPOSED INFILTRATION OR RETENTION BASIN TO COMPARE RESULTS TO DESIGN CRITERIA.
10. CONTRACTOR IS TO REMOVE EXISTING UNSUITABLE OR OVERLY COMPACT SOIL OR ROCK AS NEEDED TO ACHIEVE REQUIRED PERMEABILITY AS DIRECTED BY THE OWNERS GEOTECHNICAL ENGINEER, AND NEW FILL, IF NEEDED, SHALL HAVE AN IN PLACE PERMEABILITY GREATER THAN OR EQUAL TO THE DESIGN CRITERIA.
11. CONTRACTOR IS RESPONSIBLE FOR CONTACTING THE OWNER'S GEOTECHNICAL ENGINEER PRIOR TO ONSET OF CONSTRUCTION TO SUBMIT AND CONFIRM THE CONTRACTOR'S PROPOSED MEANS AND MATERIALS AND TO SCHEDULE INSPECTIONS FOR BOTTOM OF BASIN, REMOVAL OF UNSUITABLE SOIL, FILL PLACEMENT, AND FINAL BASIN PERMEABILITY TESTING.
12. THE CONTRACTOR IS RESPONSIBLE FOR AS-BUILT PLANS AND GRADE CONTROL UNLESS DEFINED OTHERWISE ELSEWHERE IN THE CONTRACT DOCUMENTS.

ADA NOTES

- ALL SLOPES INDICATED ARE ACTUAL. CONTRACTOR TO REFER TO LATEST ADA GUIDELINES AND NJ BARRIER FREE SUBCODE (NAC 5-2.3-7) FOR SLOPE LIMITS. AT THE TIME OF PLAN DESIGN, THE SLOPE LIMITS ARE AS FOLLOWS:
- SIDEWALKS/ ACCESSIBLE ROUTES**
- RUNNING SLOPE: 1:20 (5%) MAX. (4.5% MAX. FOR NEW CONSTRUCTION)
 - CROSS SLOPE: 1:48 (2.08%) MAX. (1.5% MAX. FOR NEW CONSTRUCTION)
 - INTERSECTION SLOPE: 1:48 (2.08%) MAX. IN ALL DIRECTIONS (1.5% MAX. FOR NEW CONSTRUCTION)
 - CHANGE IN LEVELS: 1/2" MAX. HEIGHT OR 1/2" MAX. HEIGHT WITH BEVELED EDGE. BEVELED EDGE SLOPE OF 1:2 (50%) MAX.
 - GAPS: 1/2" MAX. WIDTH ELONGATED OPENINGS SHALL BE PLACED SO LONG DIMENSION IS PERPENDICULAR TO PATH OF TRAVEL.
- CURB RAMP**
- SLOPE: 1:12 (8.33%) MAX. (7.4% MAX. FOR NEW CONSTRUCTION)
 - SIDE FLARE SLOPE: 1:10 (10%) MAX. (WHERE FEEDS CROSS RAMP)
 - BOTTOM LANDING: 48" MIN. LENGTH; WIDTH TO MATCH CURB RAMP: 1:48 MAX. (2.08%) IN ALL DIRECTIONS (1.5% MAX. FOR NEW CONSTRUCTION)
 - TOP LANDING: 36" MIN. LENGTH; WIDTH TO MATCH CURB RAMP: 1:48 MAX. (2.08%) CROSS SLOPE (1.5% MAX. FOR NEW CONSTRUCTION) AND 1:20 (5%) RUNNING SLOPE (4.5% MAX. FOR NEW CONSTRUCTION)
- ACCESSIBILITY PARKING SPACES**
- SPACE AND ACCESS AISLE SLOPE: 1:48 MAX. (2.08%) IN ALL DIRECTIONS (1.5% MAX. FOR NEW CONSTRUCTION)
- CROSSWALKS**
- RUNNING SLOPE: 1:20 (5%) MAX. (4.5% MAX. FOR NEW CONSTRUCTION)
 - CROSS SLOPE: 1:48 (2.08%) MAX. (1.5% MAX. FOR NEW CONSTRUCTION)
 - CHANGE IN LEVELS: 1/2" MAX. HEIGHT OR 1/2" MAX. HEIGHT WITH BEVELED EDGE. BEVELED EDGE SLOPE OF 1:2 (50%) MAX.
 - GAPS: 1/2" MAX. WIDTH ELONGATED OPENINGS SHALL BE PLACED SO LONG DIMENSION IS PERPENDICULAR TO PATH OF TRAVEL.
- RAMPS**
- SLOPE: 1:12 (8.33%) MAX. (7.4% MAX. FOR NEW CONSTRUCTION)
 - EXISTING RAMPS: SLOPE: 1:10 (10%) MAX. FOR RISE OF 6"; 1:8 (12.5%) MAX. FOR MAX. RISE OF 3"
 - MAX. RISE: 30"
 - MIN. CLEAR WIDTH: 36"
 - MIN. LANDING CLEAR LENGTH: 60"
 - MAX. CROSS SLOPE: 1:48 (2.08%) (1.5% MAX. FOR NEW CONSTRUCTION)

GRADING/UTILITY GRAPHIC LEGEND

---	PROPERTY LINE (PARCEL IN QUESTION)	---	EXIST. SPOT ELEVATIONS	①	PROP. GRADE SPOT ELEV.
---	OFF-SITE PROPERTY LINES	---	EXIST. GUTTER ELEV.	②	PROP. TOP OF CURB & FINISHED GRADE ELEV.
---		---	EXIST. TOP OF CURB ELEV.	③	PROP. FINISHED FLOOR ELEV.
---		---	EXIST. FINISH FLOOR ELEV.	④	PROP. FINISHED FLOOR ELEV.
---		---	EXIST. GARAGE FLOOR ELEV.	⑤	PROP. TOP OF WALL & FINISHED GRADE @ LOW SIDE OF WALL, ACTUAL BOTTOM OF WALL FOOTING TO BE ESTABLISHED BY WALL DESIGNER.
---		---	EXIST. FIRE HYDRANT	⑥	PROP. TOP OF EXTENDED CURB, (GH) FINISHED GRADE @ HIGH SIDE OF EXTENDED CURB & (GL) FINISHED GRADE @ LOW SIDE OF EXTENDED CURB
---		---	EXIST. WATER VALVE	⑦	PROP. DIRECTION OF DRAINAGE FLOW ARROW
---		---	EXIST. GAS VALVE	⑧	PROP. WATER VALVE
---		---	EXIST. GAS METER	⑨	PROP. GAS VALVE
---		---	EXIST. ELECTRIC METER	⑩	PROP. SANITARY CLEANOUT
---		---	EXIST. ELECTRIC BOX	⑪	PROP. AREA LIGHT
---		---	EXIST. CLEAN OUT	⑫	PROP. OUTLET CONTROL STRUCTURE
---		---	EXIST. WELL	⑬	PROP. DRAINAGE MANHOLE
---		---	EXIST. WATER SHUT OFF VALVE	⑭	PROP. SANITARY MANHOLE
---		---	EXIST. TELEPHONE BOX	⑮	PROP. 'A' INLET
---		---	EXIST. CABLE TV BOX	⑯	PROP. 'B' INLET
---		---	EXIST. UTILITY POLE	⑰	PROP. 'E' INLET
---		---	EXIST. GUY WIRE	⑱	PROP. YARD INLET
---		---	EXIST. LIGHT POLE	⑲	PROP. FLARED END SECTION
---		---	EXIST. BUILDING LIGHT	⑳	PROP. HEADWALL
---		---	EXIST. SHOE BOX LIGHT	㉑	
---		---	EXIST. COBRA LIGHT POLE	㉒	
---		---	EXIST. TRAFFIC SIGNAL POLE	㉓	
---		---	EXIST. MANHOLE	㉔	
---		---	EXIST. 'A' INLET	㉕	
---		---	EXIST. 'B' INLET	㉖	
---		---	EXIST. 'E' INLET	㉗	
---		---	EXIST. YARD INLET	㉘	
---		---	EXIST. FLARED END SECTION	㉙	
---		---	EXIST. HEADWALL	㉚	
---		---	APPROX. TEST PIT LOCATION	㉛	

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 Lake Como, NJ 07719
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 F: 202.974.5521
 www.dynamicoc.com

TITLE: **GRADING PLAN**

PROJECT: **INSITE DEVELOPMENT PARTNERS, LLC
 PROPOSED 4-STORY SELF STORAGE FACILITY**

JOB No: 3041-99-010 DATE: 09/13/2022

DRAWN BY: NSR SCALE: (H) 1"=30' (V)

DESIGNED BY: LPG SHEET No:

CHECKED BY: TJM

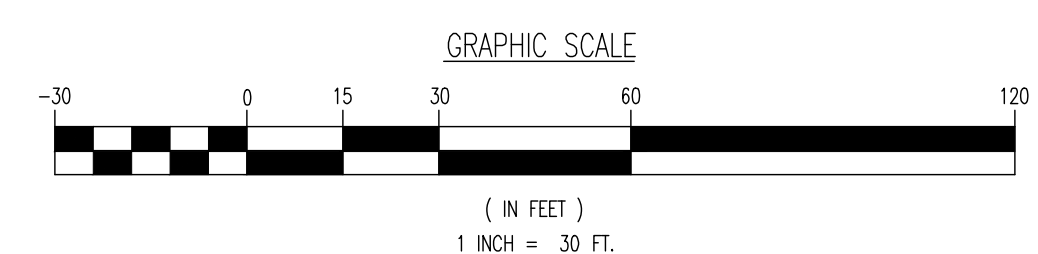
CHECKED BY:

THOMAS J. MULLER PROFESSIONAL ENGINEER
 NEW JERSEY LICENSE No. 52179

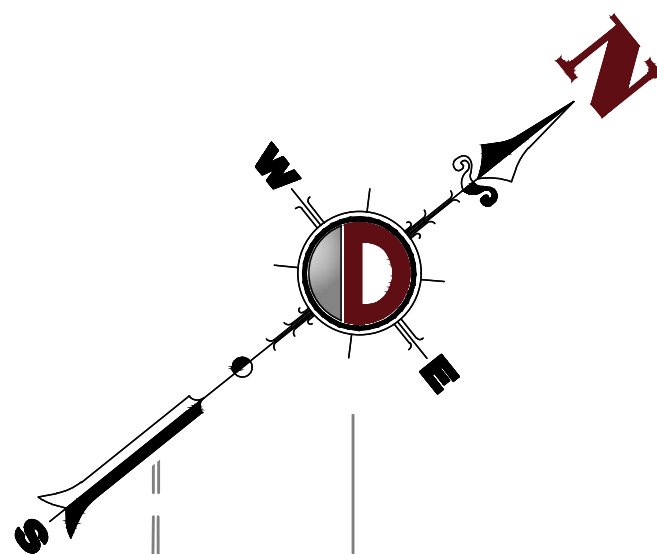
JOHN A. PALUS PROFESSIONAL ENGINEER
 NEW JERSEY LICENSE No. 41975

811 PROTECT YOURSELF
 ALL UTILITIES REQUIRE NOTIFICATION OF LOCATION, DEPTH, OR ANY OTHER INFORMATION TO AVOID DAMAGE TO THE PUBLIC UTILITY SYSTEMS.
 FOR STATE-SPECIFIC DIRECT PHONE NUMBERS VISIT: www.call811.com

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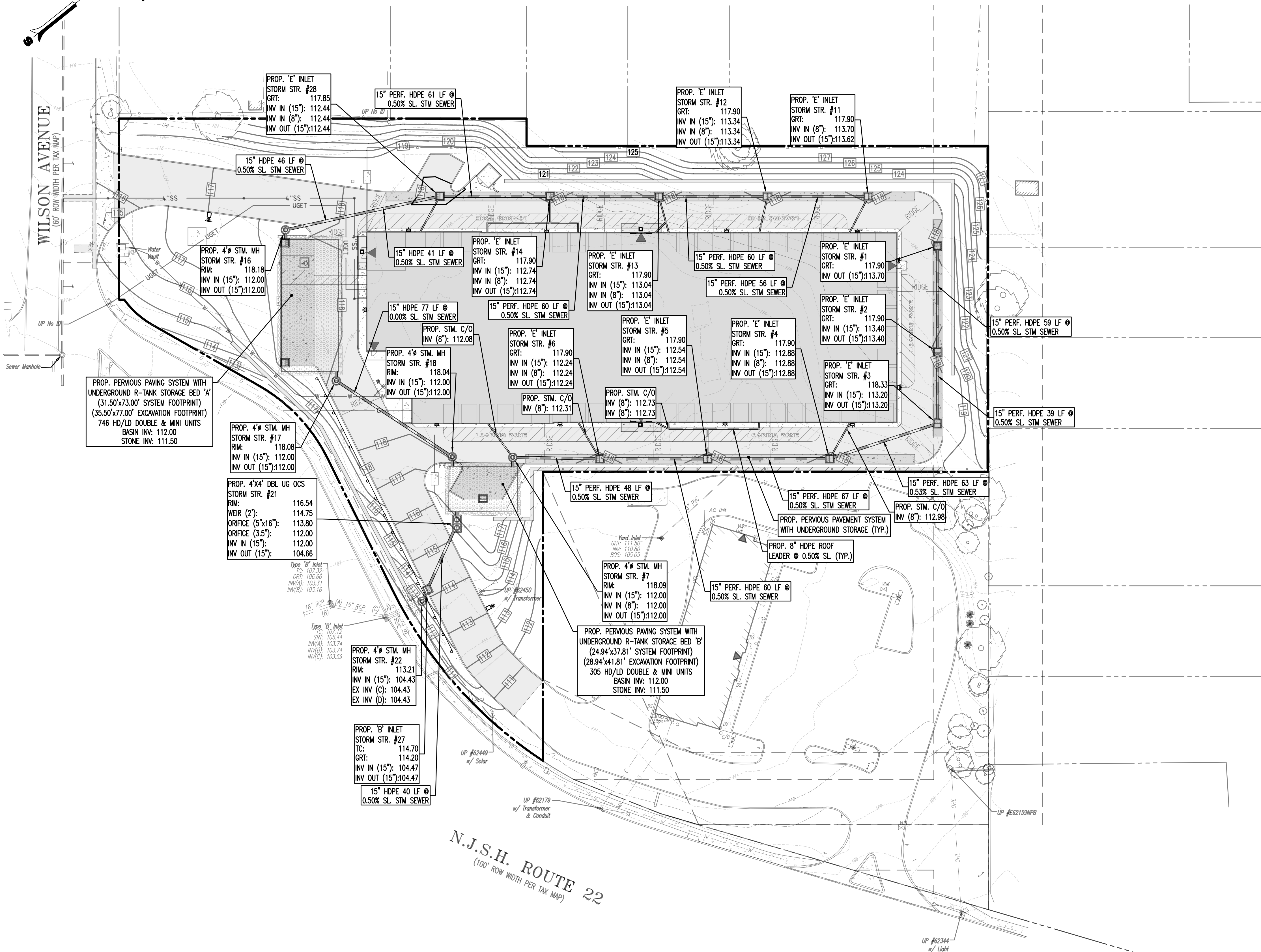


Plotted: 09/27/22 - 1:22 PM. By: growadick, Product Ver: 24.1.8 (LMS Tech) File: P:\BECPC PROJECTS\3041 InSite Property Group\99-010 North Plainfield\Draw\Amended Site Plans\304199010SNG.dwg. ---> GRADING PLAN



DRAINAGE NOTES

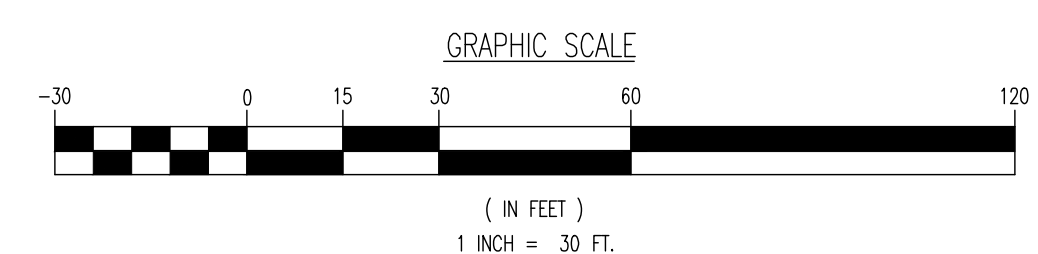
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY UTILITY "ONE-CALL" NUMBER 72 HOURS PRIOR TO ANY EXCAVATION ON THIS SITE. CONTRACTOR SHALL ALSO NOTIFY LOCAL WATER & SEWER DEPARTMENTS TO MARK-OUT THEIR UTILITIES.
- ROOF LEADER COLLECTION PIPING ARE CONCEPTUAL IN NATURE AND ARE NOT FOR CONSTRUCTION. ACTUAL ROOF LEADER COLLECTION PIPING IS TO BE COORDINATED W/ ARCHITECTURAL PLANS FOR EACH INDIVIDUAL BUILDING. ALL ROOF LEADER COLLECTION PIPING SHALL BE SCHEDULE 40 PAC UNLESS OTHERWISE DESIGNATED.
- MANUFACTURED REINFORCED CONCRETE STORM PIPE TO CONFORM TO ASTM C-76, CLASS III, UNLESS OTHERWISE DESIGNATED. MANUFACTURED REINFORCED CONCRETE ELLIPTICAL STORM PIPE TO CONFORM TO ASTM C-507, CLASS III, UNLESS OTHERWISE DESIGNATED. REINFORCED CONCRETE STORMWATER PIPE TO BE INSTALLED IN ACCORDANCE WITH AMERICAN CONCRETE PIPE ASSOCIATION INSTALLATION GUIDELINES AND MORTAR OR PREFORMED FLEXIBLE JOINT SEALANTS IN ACCORDANCE WITH ASTM C-990 TO BE UTILIZED TO PROVIDE A SILENT-JOINT. WHERE SPECIFICALLY INDICATED, REINFORCED CONCRETE STORM PIPE JOINTS SHALL BE WATER-TIGHT AND CONFORM TO ASTM C-443.
- HDPE DRAINAGE PIPE SHALL HAVE A SMOOTH WALL INTERIOR WITH ANNUAL EXTERIOR CORRUGATIONS AND CONFORM TO ASTM F2306. SOLID PIPE SHALL HAVE GASKETED WATER-TIGHT JOINTS MEETING THE REQUIREMENTS OF ASTM F2306 AND ASTM D3212. PERFORATED PIPE SHALL HAVE GASKETED SILENT-TIGHT JOINTS MEETING THE REQUIREMENTS OF ASTM F2306 AND ASTM F477. HDPE PIPE SHALL BE FROM A MANUFACTURER WHO IS AN EASTERN STATES CONSORTIUM (ESC) QUALIFIED MANUFACTURER OF HDPE PIPE AND INSTALLED IN ACCORDANCE WITH PIPE MANUFACTURER RECOMMENDATIONS.
- HP DRAINAGE PIPE SHALL HAVE A SMOOTH WALL INTERIOR WITH ANNUAL EXTERIOR CORRUGATIONS AND CONFORM TO ASTM F2736 (12"-30" PIPE) AND ASTM F2891 (36"-60" PIPE). PIPE SHALL HAVE GASKETED WATER-TIGHT JOINTS MEETING THE REQUIREMENTS OF ASTM D3212 AND ASTM F477. FIELD WATER-TIGHTNESS PERFORMANCE VERIFICATION MAY BE ACCOMPLISHED IN ACCORDANCE WITH ASTM F2487. HP PIPE SHALL BE FROM A MANUFACTURER WHO IS AN EASTERN STATES CONSORTIUM (ESC) QUALIFIED MANUFACTURER OF HP STORM PIPE AND INSTALLED IN ACCORDANCE WITH PIPE MANUFACTURER RECOMMENDATIONS.
- PIPE LENGTHS ON THIS PLAN HAVE BEEN MEASURED AS THE DISTANCE BETWEEN THE CENTER POINT OF THE 2 CONNECTED STRUCTURES. ACTUAL PHYSICAL PIPE LENGTH FOR INSTALLATION IS EXPECTED TO BE LESS AND SHOULD BE ACCOUNTED FOR BY THE CONTRACTOR ACCORDINGLY.



GRADING/UTILITY GRAPHIC LEGEND

PROPERTY LINE (PARCEL IN QUESTION)		OFF-SITE PROPERTY LINES	
---	EXIST. CABLE LINE	---	EXIST. SPOT ELEVATIONS
---	PROP. CABLE LINE	---	EXIST. GUTTER ELEV.
---	EXIST. ELECTRIC LINE	---	EXIST. TOP OF CURB ELEV.
---	PROP. ELECTRIC LINE	---	EXIST. FINISH FLOOR ELEV.
---	EXIST. FIBER OPTIC LINE	---	EXIST. GARAGE FLOOR ELEV.
---	PROP. FIBER OPTIC LINE	---	EXIST. FIRE HYDRANT
---	EXIST. GAS LINE	---	EXIST. WATER VALVE
---	PROP. GAS LINE	---	EXIST. GAS VALVE
---	EXIST. OVERHEAD WIRES	---	EXIST. GAS METER
---	PROP. OVERHEAD WIRES	---	EXIST. ELECTRIC METER
---	EXIST. TELEPHONE LINE	---	EXIST. ELECTRIC BOX
---	PROP. TELEPHONE LINE	---	EXIST. CLEAN OUT
---	EXIST. UNDERGROUND ELEC./TELE. SERVICE (NO. & SIZE OF CONDUITS NOT DEFINED)	---	EXIST. WATER SHUT OFF VALVE
---	PROP. UNDERGROUND ELEC./TELE. SERVICE (NO. & SIZE OF CONDUITS NOT DEFINED)	---	EXIST. TELEPHONE BOX
---	EXIST. WATER LINE	---	EXIST. CABLE TV BOX
---	PROP. WATER LINE	---	EXIST. UTILITY POLE
---	EXIST. SANITARY SEWER LINE	---	EXIST. CLAY WIRE
---	PROP. SANITARY SEWER LINE	---	EXIST. LIGHT POLE
---	EXIST. STORM DRAIN LINE	---	EXIST. BUILDING LIGHT
---	EXIST. MINOR CONTOUR & ELEVATION	---	EXIST. SHOE BOX LIGHT
---	EXIST. MAJOR CONTOUR & ELEVATION	---	EXIST. COBRA LIGHT POLE
---	PROP. FINISH GRADE CONTOUR & ELEVATION	---	EXIST. TRAFFIC SIGNAL POLE
---	EXIST. MONITORING WELL	---	EXIST. MANHOLE
---	APPROX. TEST PIT LOCATION	---	EXIST. 'A' INLET
---		---	EXIST. 'B' INLET
---		---	EXIST. 'E' INLET
---		---	EXIST. YARD INLET
---		---	EXIST. FLARED END SECTION
---		---	EXIST. HEADWALL

N.J.S.H. ROUTE 22
(100' ROW WIDTH PER TAX MAP)



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www.dynamicoc.com

PROJECT: **INSITE DEVELOPMENT PARTNERS, LLC**
PROPOSED 4-STORY SELF STORAGE FACILITY

BLOCK 119.00, LOT 1.01
US ROUTE 22 & WILSON AVENUE
BOROUGH OF NORTH PLAINFIELD, SOMERSET COUNTY, NEW JERSEY

JOB No: 3041-99-010
DATE: 09/13/2022
DRAWN BY: GMC
SCALE: (H) 1"=30'
(V)
DESIGNED BY: LPG
SHEET No:
CHECKED BY: TJM
THOMAS J. MULLER
PROFESSIONAL ENGINEER
NEW JERSEY LICENSE NO. 52179

JOHN A. PALUS
PROFESSIONAL ENGINEER
NEW JERSEY LICENSE NO. 41975

6

OF 20

Rev. # 0

Plotted: 09/27/22 - 1:22 PM, By: gowdrick, Product Ver: 24.1s (LMS Tech)
 File: P:\BECPC PROJECTS\3041 InSite Property Group\99-010 North Plainfield\Draw\Amended Site Plans\304199010SCO.dwg, ---> DRAINAGE PLAN

BOROUGH UTILITY NOTES

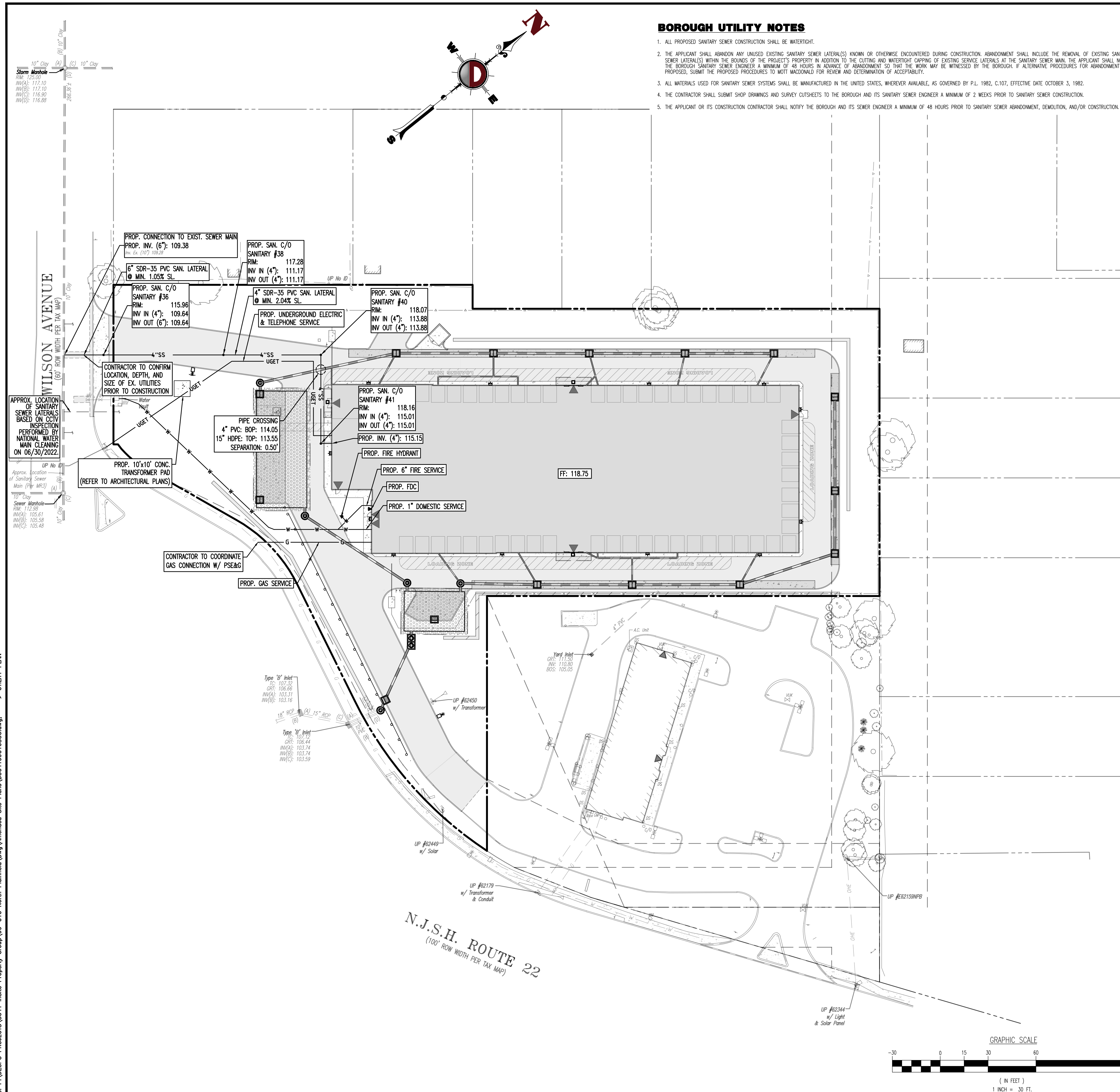
1. ALL PROPOSED SANITARY SEWER CONSTRUCTION SHALL BE WATERTIGHT.
2. THE APPLICANT SHALL ABANDON ANY UNUSED EXISTING SANITARY SEWER LATERALS KNOWN OR OTHERWISE ENCOUNTERED DURING CONSTRUCTION. ABANDONMENT SHALL INCLUDE THE REMOVAL OF EXISTING SANITARY SEWER LATERAL(S) WITHIN THE BOUNDS OF THE PROJECT'S PROPERTY IN ADDITION TO THE CUTTING AND WATERTIGHT CAPPING OF EXISTING SERVICE LATERALS AT THE SANITARY SEWER MAIN. THE APPLICANT SHALL NOTIFY THE BOROUGH SANITARY SEWER ENGINEER A MINIMUM OF 48 HOURS IN ADVANCE OF ABANDONMENT SO THAT THE WORK MAY BE WITNESSED. IF ALTERNATIVE PROCEDURES FOR ABANDONMENT ARE PROPOSED, SUBMIT THE PROPOSED PROCEDURES TO MOTT MACDONALD FOR REVIEW AND DETERMINATION OF ACCEPTABILITY.
3. ALL MATERIALS USED FOR SANITARY SEWER SYSTEMS SHALL BE MANUFACTURED IN THE UNITED STATES, WHEREVER AVAILABLE, AS COVERED BY P.L. 1982, C.107, EFFECTIVE DATE OCTOBER 3, 1982.
4. THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS AND SURVEY CUTSHEETS TO THE BOROUGH AND ITS SANITARY SEWER ENGINEER A MINIMUM OF 2 WEEKS PRIOR TO SANITARY SEWER CONSTRUCTION.
5. THE APPLICANT OR ITS CONSTRUCTION CONTRACTOR SHALL NOTIFY THE BOROUGH AND ITS SEWER ENGINEER A MINIMUM OF 48 HOURS PRIOR TO SANITARY SEWER ABANDONMENT, DEMOLITION, AND/OR CONSTRUCTION.

EXISTING UTILITY NOTES

- EXISTING WATER SERVICE NOTE:** CONTRACTOR TO LOCATE AND UTILIZE EXISTING WATER SERVICE CONNECTION IF FEASIBLE. OTHERWISE REMOVE EXISTING WATER SERVICE LINE AND CAP AT MAIN IN R.O.W. IN ACCORDANCE WITH THE LOCAL WATER COMPANY REQUIREMENTS. TERMINATION AT THE MAIN MUST BE APPROVED BY THE LOCAL WATER COMPANY PRIOR TO COMPLETION. IF THE EXISTING WATER SERVICE CAN NOT BE UTILIZED, THE NEW SERVICE IS TO BE COORDINATED AND VERIFIED FOR LOCATION WITH THE LOCAL WATER COMPANY. CONTRACTOR SHALL OBTAIN ALL REQUIRED STREET OPENING PERMITS FOR REMOVAL OF EXISTING SERVICE AND INSTALLATION OF NEW SERVICE.
- EXISTING GAS SERVICE NOTE:** CONTRACTOR TO LOCATE AND UTILIZE EXISTING GAS SERVICE CONNECTION IF FEASIBLE. OTHERWISE REMOVE EXISTING GAS SERVICE LINE AND CAP AT MAIN IN R.O.W. IN ACCORDANCE WITH THE LOCAL GAS COMPANY REQUIREMENTS. TERMINATION AT THE MAIN MUST BE APPROVED BY THE LOCAL GAS COMPANY PRIOR TO COMPLETION. ANY NEW SERVICE IS TO BE COORDINATED AND VERIFIED FOR LOCATION WITH THE LOCAL GAS COMPANY. THE CONTRACTOR SHALL OBTAIN ALL REQUIRED STREET OPENING PERMITS FOR REMOVAL OF EXISTING SERVICE AND INSTALLATION OF NEW SERVICE.
- SANITARY SEWER SERVICE NOTE:** CONTRACTOR TO LOCATE AND UTILIZE EXISTING SEWER SERVICE CONNECTION IF OF ADEQUATE SIZE AND INTEGRITY AND ACCEPTABLE TO LOCAL SEWER AUTHORITY. OTHERWISE CONTRACTOR TO REMOVE EXISTING SEWER SERVICE LINE AND CAP AT MAIN IN R.O.W. IN ACCORDANCE WITH THE LOCAL SEWER AUTHORITY REQUIREMENTS. TERMINATION AT THE MAIN MUST BE APPROVED BY THE LOCAL SEWER AUTHORITY PRIOR TO COMPLETION. IF EXISTING SEWER SERVICE CAN NOT BE UTILIZED THEN THE NEW SERVICE IS TO BE COORDINATED AND VERIFIED FOR LOCATION WITH THE LOCAL SEWER AUTHORITY. CONTRACTOR SHALL OBTAIN ALL REQUIRED STREET OPENING PERMITS FOR REMOVAL OF EXISTING SERVICE AND INSTALLATION OF NEW SERVICE.

UTILITY NOTES

1. LOCATION OF ALL EXISTING AND PROPOSED SERVICES ARE APPROXIMATE AND MUST BE CONFIRMED INDEPENDENTLY WITH LOCAL UTILITY COMPANIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION. SANITARY SEWER AND ALL OTHER UTILITY SERVICE CONNECTION POINTS SHALL BE CONFIRMED INDEPENDENTLY BY THE CONTRACTOR IN FIELD PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. ALL DISCREPANCIES SHALL BE REPORTED IMMEDIATELY IN WRITING TO THE ENGINEER. CONSTRUCTION SHALL COMMENCE BEGINNING AT THE LOWEST INVERT (POINT OF CONNECTION) AND PROGRESS UP GRADIENT. INTERFACE POINTS (CROSSINGS) WITH EXISTING UNDERGROUND UTILITIES SHALL BE FIELD VERIFIED BY TEST PIT PRIOR TO COMMENCEMENT OF CONSTRUCTION.
2. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY UTILITY "ONE-CALL" NUMBER 72 HOURS PRIOR TO ANY EXCAVATION ON THIS SITE. CONTRACTOR SHALL ALSO NOTIFY LOCAL WATER & SEWER DEPARTMENTS TO MARK-OUT THEIR UTILITIES.
3. REFER TO ARCHITECTURAL DRAWINGS FOR EXACT BUILDING UTILITY CONNECTION LOCATIONS. WHERE CONFLICTS EXIST WITH THESE SITE PLANS, ENGINEER IS TO BE NOTIFIED PRIOR TO CONSTRUCTION TO RESOLVE SAME. SERVICE SIZES TO BE DETERMINED BY ARCHITECT.
4. WATER SERVICE MATERIALS SHALL BE SPECIFIED BY THE LOCAL UTILITY COMPANY. CONTRACTORS PRICE FOR WATER SERVICE SHALL INCLUDE ALL FEES AND APPURTENANCES REQUIRED BY THE UTILITY TO PROVIDE A COMPLETE WORKING SERVICE.
5. ALL WATER MAIN SHALL BE CEMENT-LINED, CLASS 52 DUCTILE IRON PIPE, UNLESS OTHERWISE DESIGNATED.
6. THE MINIMUM DIAMETER FOR DOMESTIC WATER SERVICES SHALL BE 1 INCH.
7. SEWER MAINS SHALL BE SEPARATED FROM WATER MAINS BY A DISTANCE OF AT LEAST 10 FEET HORIZONTALLY. WHERE THIS IS NOT POSSIBLE, THE PIPES SHALL BE IN SEPARATE TRENCHES WITH THE SEWER MAIN AT LEAST 18 INCHES BELOW THE WATER MAIN. ALL SEWER MAINS SHALL BE SDR-35 PVC PIPE UNLESS OTHERWISE DESIGNATED.
8. ALL SEWER PIPE INSTALLED WITH LESS THAN 3 FEET OF COVER, GREATER THAN 20 FEET OF COVER OR WITHIN 18 INCHES OF A WATER MAIN SHALL BE CONSTRUCTED OF DUCTILE IRON PIPE. ALL DUCTILE IRON SEWER PIPE SHALL BE CEMENT-LINED, CLASS 52 PIPE, FURNISHED WITH SEWER COAT, OR APPROVED EQUAL.
9. WHERE SANITARY SEWER LATERALS ARE GREATER THAN 10' DEEP AT CONNECTION TO THE SEWER MAIN, CONCRETE DEEP LATERAL CONNECTIONS ARE TO BE UTILIZED.
10. THE CONTRACTOR IS RESPONSIBLE FOR THE STABILIZATION OF THE EXISTING SEWER MAIN, STRUCTURES AND APPURTENANCES DURING CONNECTION.
11. LOCATION & LAYOUT OF GAS, ELECTRIC & TELECOMMUNICATION UTILITY LINES AND SERVICES SHOWN ON THESE PLANS ARE SOHEMATIC IN NATURE. ACTUAL LOCATION & LAYOUT OF THESE UTILITIES & SERVICES ARE TO BE PER THE APPROPRIATE UTILITY PROVIDER.
12. ROOF LEADER COLLECTION PIPING ARE CONCEPTUAL IN NATURE AND ARE NOT FOR CONSTRUCTION. ACTUAL ROOF LEADER COLLECTION PIPING IS TO BE COORDINATED W/ ARCHITECTURAL PLANS FOR EACH INDIVIDUAL BUILDING. ALL ROOF LEADER COLLECTION PIPING SHALL BE SCHEDULE 40 PVC UNLESS OTHERWISE DESIGNATED.
13. ALL SEWER AND WATER FACILITIES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE REGULATORY AUTHORITY'S RULES AND REGULATIONS.
14. ALL PROPOSED UTILITIES TO BE INSTALLED UNDERGROUND UNLESS OTHERWISE NOTED.
15. MANUFACTURED REINFORCED CONCRETE STORM PIPE TO CONFORM TO ASTM C-76, CLASS II, UNLESS OTHERWISE DESIGNATED. MANUFACTURED REINFORCED CONCRETE ELLIPTICAL STORM PIPE TO CONFORM TO ASTM C-507, CLASS II, UNLESS OTHERWISE DESIGNATED. REINFORCED CONCRETE STORMWATER PIPE TO BE INSTALLED IN ACCORDANCE WITH AMERICAN CONCRETE PIPE ASSOCIATION INSTALLATION GUIDELINES AND MORTAR OR PREFORMED FLEXIBLE JOINT SEALANTS IN ACCORDANCE WITH ASTM C 990 TO BE UTILIZED TO PROVIDE A SLIT-TIGHT JOINT. WHERE SPECIFICALLY INDICATED, REINFORCED CONCRETE STORM PIPE JOINTS SHALL BE WATERTIGHT AND CONFORM TO ASTM C-443.
16. HOPE DRAINAGE PIPE SHALL HAVE A SMOOTH WALL INTERIOR WITH ANNUAL EXTERIOR CORRUGATIONS AND CONFORM TO ASTM F2336. SOLID PIPE SHALL HAVE GASKETED WATER-TIGHT JOINTS MEETING THE REQUIREMENTS OF ASTM F2306 AND ASTM D3212. PERFORATED PIPE SHALL HAVE GASKETED SLIT-TIGHT JOINTS MEETING THE REQUIREMENTS OF ASTM F2306 AND ASTM F477. HOPE PIPE SHALL BE FROM A MANUFACTURER WHO IS AN EASTERN STATES CONSORTIUM (ESC) QUALIFIED MANUFACTURER OF HOPE PIPE AND INSTALLED IN ACCORDANCE WITH PIPE MANUFACTURE RECOMMENDATIONS.
17. HP DRAINAGE PIPE SHALL HAVE A SMOOTH WALL INTERIOR WITH ANNUAL EXTERIOR CORRUGATIONS AND CONFORM TO ASTM F2736 (12"-30" PIPE) AND ASTM F2881 (36"-60" PIPE). PIPE SHALL HAVE GASKETED WATER-TIGHT JOINTS MEETING THE REQUIREMENTS OF ASTM D3212 AND ASTM F477. FIELD WATER-TIGHTNESS PERFORMANCE VERIFICATION MAY BE ACCOMPLISHED IN ACCORDANCE WITH ASTM F2487. HP PIPE SHALL BE FROM A MANUFACTURER WHO IS AN EASTERN STATES CONSORTIUM (ESC) QUALIFIED MANUFACTURER OF HP STORM PIPE AND INSTALLED IN ACCORDANCE WITH PIPE MANUFACTURE RECOMMENDATIONS.
18. PIPE LENGTHS ON THIS PLAN HAVE BEEN MEASURED AS THE DISTANCE BETWEEN THE CENTER POINT OF THE 2 CONNECTED STRUCTURES. ACTUAL PHYSICAL PIPE LENGTH FOR INSTALLATION IS EXPECTED TO BE LESS AND SHOULD BE ACCOUNTED FOR BY THE CONTRACTOR ACCORDINGLY.



GRADING/UTILITY GRAPHIC LEGEND

PROPERTY LINE (PARCEL IN QUESTION)		OFF-SITE PROPERTY LINES	
---	EXIST. CABLE LINE	---	EXIST. SPOT ELEVATIONS
---	PROP. CABLE LINE	+	EXIST. TOP OF CURB ELEV.
---	EXIST. ELECTRIC LINE	---	EXIST. TOP OF FINISH GRADE ELEV.
---	PROP. ELECTRIC LINE	---	EXIST. FINISH FLOOR ELEV.
---	EXIST. FIBER OPTIC LINE	---	EXIST. GARAGE FLOOR ELEV.
---	PROP. FIBER OPTIC LINE	---	EXIST. FIRE HYDRANT
---	EXIST. GAS LINE	---	EXIST. WATER VALVE
---	PROP. GAS LINE	---	EXIST. GAS VALVE
---	EXIST. OVERHEAD WIRES	---	EXIST. GAS METER
---	PROP. OVERHEAD WIRES	---	EXIST. ELECTRIC METER
---	EXIST. TELEPHONE LINE	---	EXIST. CLEAN OUT
---	PROP. TELEPHONE LINE	---	EXIST. WELL
---	EXIST. UNDERGROUND ELEC./TELE. SERVICE (NO. & SIZE OF CONDUITS NOT DEFINED)	---	EXIST. WATER SHUT OFF VALVE
---	PROP. UNDERGROUND ELEC./TELE. SERVICE (NO. & SIZE OF CONDUITS NOT DEFINED)	---	EXIST. TELEPHONE BOX
---	EXIST. WATER LINE	---	EXIST. CABLE TV BOX
---	PROP. WATER LINE	---	EXIST. UTILITY POLE
---	EXIST. SANITARY SEWER LINE	---	EXIST. GUY WIRE
---	PROP. SANITARY SEWER LINE	---	EXIST. LIGHT POLE
---	EXIST. STORM DRAIN LINE	---	EXIST. BUILDING LIGHT
---	PROP. STORM DRAIN LINE	---	EXIST. SHOE BOX LIGHT
---	EXIST. MINOR CONTOUR & ELEVATION	---	EXIST. COBRA LIGHT POLE
---	EXIST. MAJOR CONTOUR & ELEVATION	---	EXIST. TRAFFIC SIGNAL POLE
---	PROP. FINISH GRADE CONTOUR & ELEVATION	---	EXIST. MANHOLE
---	EXIST. MONITORING WELL	---	EXIST. "A" INLET
---	APPROX. TEST PIT LOCATION	---	EXIST. "B" INLET
---		---	EXIST. "C" INLET
---		---	EXIST. YARD INLET
---		---	EXIST. FLARED END SECTION
---		---	EXIST. HEADWALL

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 F: 202.974.5521
 www.dynamicco.com

PROJECT: **INSITE DEVELOPMENT PARTNERS, LLC**
PROPOSED 4-STORY SELF STORAGE FACILITY

TITLE: **UTILITY PLAN**

JOB No: 3041-99-010 DATE: 09/13/2022

DRAWN BY: GMC SCALE: (H) 1"=30' (V)

DESIGNED BY: LPG SHEET No:

CHECKED BY: TJM

CHECKED BY:

THOMAS J. MULLER PROFESSIONAL ENGINEER
 NEW JERSEY LICENSE No. 52179

JOHN A. PALUS PROFESSIONAL ENGINEER
 NEW JERSEY LICENSE No. 41975

PROTECT YOURSELF
 ALL UTILITIES REQUIRE A PRELIMINARY LOCATION OF UTILITY RECORDS. IF ANY DISCREPANCIES ARE FOUND, PLEASE CONTACT THE UTILITY PROVIDER IMMEDIATELY.
 FOR STATE-SPECIFIC DIRECT PHONE NUMBERS VISIT: www.call811.com

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Plotted: 09/27/22 - 1:22 PM. By: gowdick, Product Ver: 24.1s (LMS Tech)
 File: P:\BECPC PROJECTS\3041 - InSite Property Group\99-010 North Plainfield\DWG\Amended Site Plans\304199010SU.dwg. ---> UTILITY PLAN

THIS PLAN TO BE UTILIZED FOR LANDSCAPE PURPOSES ONLY

LANDSCAPE SCHEDULE

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS
AR	3	ACER RUBRUM	RED MAPLE	2 1/2"-3" CAL.	B+B
GTS	1	GLEDITSIA TRACANTHOS VAR. INCENSIS "SHADEMASTER"	SHADEMASTER HONEYLOCUST	2 1/2"-3" CAL.	B+B
QP	2	QUERCUS PALustrIS	PIN OAK	2 1/2"-3" CAL.	B+B
CLY	60	X CUPRESSOCYPRIS LEYLANDII	LEYLAND CYPRESS	6-7'	B+B
IGN	58	ILEX GLABRA X "CHAMZ"	NORDIC INKBERRY	24-30"	#3 CAN
TON	103	THUJA OCCIDENTALIS "NIGRA"	DARK AMERICAN ARBORVITAE	5-6'	B+B

NOTE: IF ANY DISCREPANCIES OCCUR BETWEEN AMOUNTS SHOWN IN THE PLAN AND THE PLANT LIST, THE PLAN SHALL DICATE.

PLANTING NOTES

- PLANT MATERIAL SHALL BE FURNISHED AND INSTALLED AS INDICATED, INCLUDING ALL LABOR, MATERIALS, PLANTS, EQUIPMENT, INCIDENTALS, AND CLEAN-UP.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PLANTING AT CORRECT GRADES AND ALIGNMENT. LAYOUT TO BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- PLANTS SHALL BE TYPICAL OF THEIR SPECIES AND VARIETY, HAVE NORMAL GROWTH HABITS, WELL DEVELOPED BRANCHES, DENSELY FOULATED, VIGOROUS ROOT SYSTEMS AND BE FREE FROM DEFECTS AND INJURIES.
- CONTRACTOR SHALL REPORT ANY SOIL DRAINAGE CONDITIONS CONSIDERED DETRIMENTAL TO THE GROWTH OF PLANT MATERIAL.
- ALL PLANT MATERIAL SHALL BE GUARANTEED BY THE CONTRACTOR TO BE IN VIGOROUS GROWING CONDITION. PROVISION SHALL BE MADE FOR A GROWTH GUARANTEE OF AT LEAST ONE (1) YEAR FROM THE DATE OF ACCEPTANCE FOR TREES AND SHRUBS. REPLACEMENTS SHALL BE MADE AT THE BEGINNING OF THE FIRST SUCCESSFUL PLANTING SEASON. ALL REPLACEMENTS SHALL HAVE A GUARANTEE EQUAL TO THAT SHOWN ABOVE.
- IN SO FAR AS IT IS PRACTICABLE, PLANT MATERIAL SHALL BE PLANTED ON THE DAY OF DELIVERY. IN THE EVENT THIS IS NOT POSSIBLE, THE CONTRACTOR SHALL PROTECT STOCK NOT PLANTED. PLANTS SHALL NOT REMAIN UNPLANTED FOR LONGER THAN A THREE DAY PERIOD AFTER DELIVERY. ANY PLANTS NOT INSTALLED DURING THIS PERIOD WILL BE REJECTED.
- QUALITY AND SIZE OF PLANTS, SPREAD OF ROOTS, AND SIZE OF BALLS SHALL BE IN ACCORDANCE WITH ANSI Z60.1 (REV. 2001) "AMERICAN STANDARD FOR NURSERY STOCK" AS PURCHASED BY THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION.
- ALL PLANTS SHALL BE PLANTED IN AMENDED TOPSOIL THAT IS THOROUGHLY WATERED AND TAMPED AS BACK FILLING PROGRESSES. PLANTING MIX TO BE AS SHOWN ON PLANTING DETAILS. LARGER PLANTING MIXES TO INCORPORATE FERTILIZER AND SOIL CONDITIONERS AS STATED IN PLANTING SPECIFICATIONS.
- PLANTS SHALL NOT BE BOUND WITH WIRE OR ROPE AT ANY TIME, SO AS TO DAMAGE THE BARK OR BREAK BRANCHES. PLANTS SHALL BE HANDLED FROM THE BOTTOM OF THE BALL ONLY.
- PLANTING OPERATIONS SHALL BE PERFORMED DURING PERIODS WITHIN THE PLANTING SEASON WHEN WEATHER AND SOIL CONDITIONS ARE SUITABLE AND IN ACCORDANCE WITH ACCEPTED LOCAL PRACTICE. PLANTS SHALL NOT BE INSTALLED IN TOPSOIL THAT IS IN A MUDDY OR FROZEN CONDITION. ALL PLANT MATERIAL SHALL BE STORED PROPERLY ON SITE OR AT THE CONTRACTOR'S OFFICE.
- NO PLANT, EXCEPT GROUND COVERS, SHALL BE PLANTED LESS THAN TWO FEET FROM EXISTING STRUCTURES AND SIDEWALKS.
- SET AS PLANTS PLUMS AND OTHERS TO BE PLANTED AT A NORMAL OR NATURAL RELATIONSHIP TO THE CROWN OF THE PLANT WITH THE GROUND SURFACE. WILL BE ESTABLISHED. LOCATE PLANT IN THE CENTER OF THE PIT.
- ALL MAINTAINED ROOTS SHALL BE PRUNED TO MAKE CLEAN ENDS BEFORE PLANTING UTILIZING CLEAN, SHARP TOOLS. IT IS ADVISABLE TO PRUNE APPROXIMATELY 1/3 THE TOPSOIL COMPLETELY WITH WATER. ROOTS SHALL NOT BE LEFT EXPOSED FOR MORE THAN ONE (1) DAY. CONTRACTOR SHALL BE RESPONSIBLE TO PROTECT ALL EXISTING TREES TO REMAIN BY ERECTING TREE PROTECTION FENCE AT THE DROP LINE. THIS WILL ENSURE NO COMPACTON OF THE ROOT MASS.
- ALL PLANTING BEES SHALL BE MULCHED WITH 4" LAYER OF DOUBLE SHREDDED HARDWOOD BARK MULCH.
- NEW PLANTING AREAS AND SHOULDS BE PREPARED AND MULCHED AS APPROVED PLANTS AND LAWN.
- PRIOR TO THE ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY, THE PROPOSED LANDSCAPE AS SHOWN ON THE APPROVED LANDSCAPE PLAN MUST BE INSTALLED, UNLESS OTHERWISE SPECIFIED BY THE MUNICIPAL ENGINEER AND LANDSCAPE ARCHITECT. LANDSCAPE ARCHITECT SHALL TAKE INTO ACCOUNT SEASONAL CONSIDERATIONS IN THIS REGARD AS FOLLOWS: THE PLANTING OF TREES, SHRUBS, VINES OR GROUND COVER AS REQUIRED BY OR ASSOCIATED WITH A SUBDIVISION OR SITE PLAN APPROVAL BY THE PLANNING BOARD OR ZONING BOARD OF ADJUSTMENT SHALL BE INSTALLED DURING THE FOLLOWING PLANTING SEASONS:

TYPE	PLANTS	DATES
		3/15 TO 12/15
	LAWN	3/15 TO 6/15
		9/15 TO 12/1

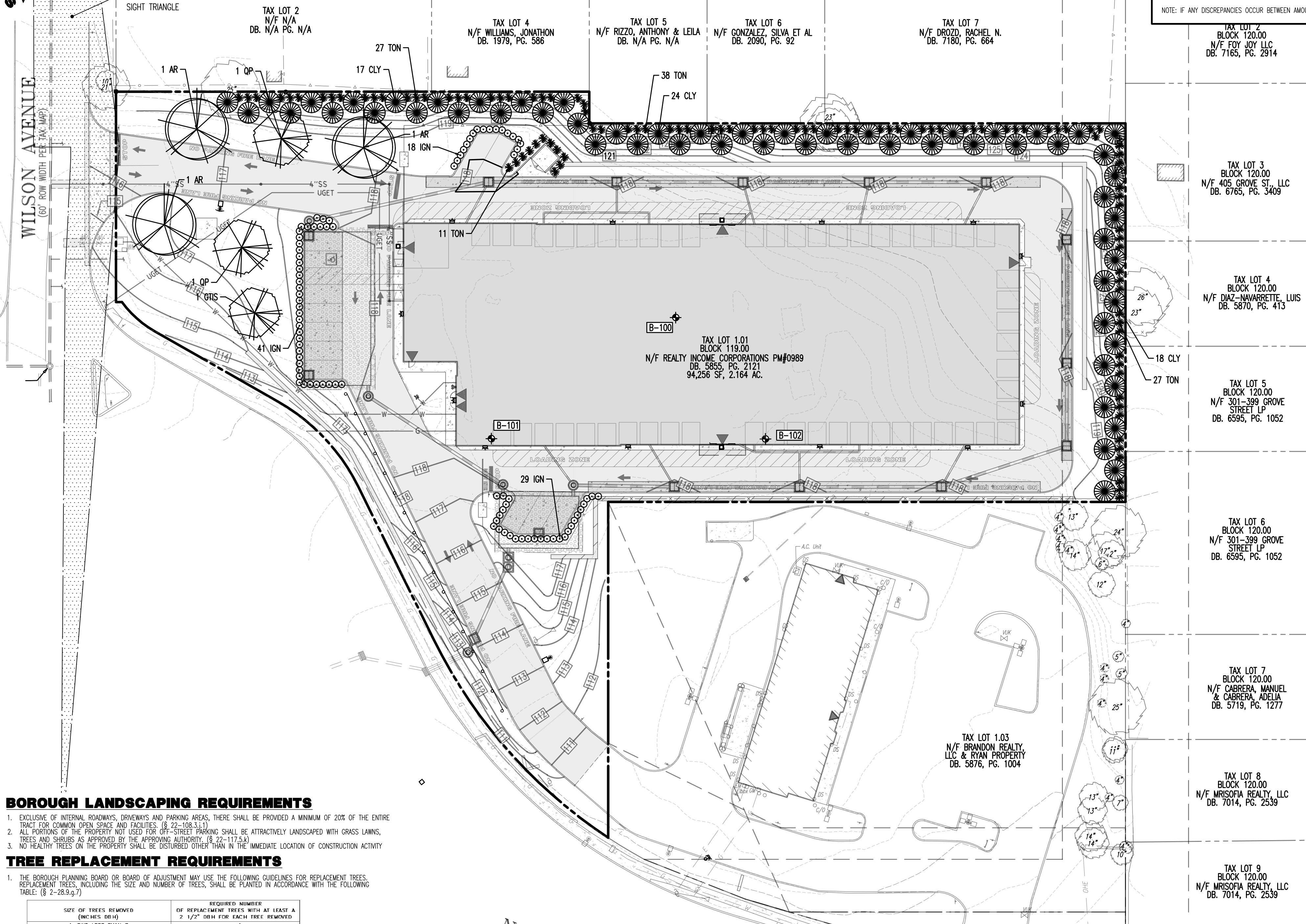
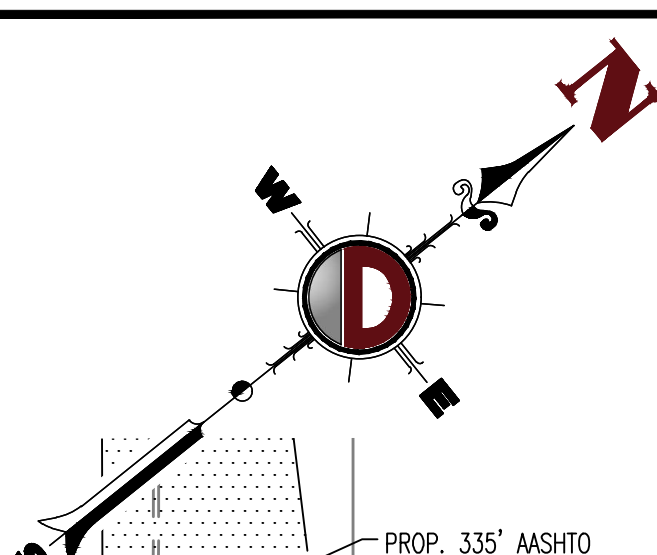
FURTHERMORE, THE FOLLOWING TREE VARIETIES SHALL NOT BE PLANTED DURING THE FALL PLANTING SEASON DUE TO THE HAZARDS ASSOCIATED WITH DIGGING THESE TREES IN THIS SEASON:

- ACER RUBRUM
- BETULA VARIETIES
- CARPINUS VARIETIES
- CRATAEGUS VARIETIES
- KOELREUTERIA VARIETIES
- LIQUIDAMBAR STYRACIFLUA
- LIRODENDRON TULIPIFERA
- PLATANUS ACERIFOLIA
- POPULUS VARIETIES
- PRUNUS VARIETIES
- SPICE VARIETIES
- SYDOWIA VARIETIES
- SALIX WEEPING VARIETIES
- TILIA TOMENTOSA
- ZELKOVA VARIETIES

ANY PLANTINGS INSTALLED IN CONFLICT WITH THIS REQUIREMENT MUST RECEIVE THE WRITTEN APPROVAL BY THE MUNICIPAL ENGINEER OR LANDSCAPE ARCHITECT, PRIOR TO PLANTING. FAILURE TO COMPLY WITH THESE REQUIREMENTS WILL REQUIRE THE REMOVAL OF THE PLANTING IN QUESTION. THIS REQUIREMENT DOES NOT APPLY TO SEEDING OR SOILING OR PLANTINGS SPECIFICALLY FOR SOIL STABILIZATION PURPOSES. THE PLANTING ASSOCIATED WITH ANY LOT GIVEN A CERTIFICATE OF OCCUPANCY OUTSIDE THESE PERIODS SHALL BE PROVIDED DURING THE PREVIOUS OR NEXT APPROPRIATE SEASON.

PLANTING SPECIFICATIONS

- SCOPE OF WORK
A. THIS WORK SHALL CONSIST OF PERFORMING, CLEARING AND SOIL PREPARATION, FINISH GRADING, PLANTING AND DRAINAGE, INCLUDING ALL LABOR, MATERIALS, TOOLS, EQUIPMENT, AND OTHER APPURTENANCES NECESSARY FOR THE COMPLETION OF THIS PROJECT.
- MATERIALS
A. GENERAL - ALL MATERIALS SHALL MEET OR EXCEED SPECIFICATIONS AS OUTLINED IN THE STATE DEPARTMENT OF TRANSPORTATION (DOT) MANUAL OF ROADWAY AND BRIDGE CONSTRUCTION (LATEST EDITION) OR APPROVED EQUAL.
B. PLANTS - ALL PLANTS SHALL BE OF NORMAL GROWTH HABIT, FULLY ROOTED, FREE FROM DISEASE AND INSECTS.
C. TOPSOIL - "LUMPY" SILT, HAVING AN ORGANIC CONTENT NOT LESS THAN 5%, pH RANGE BETWEEN 4.5 - 7, BE FREE OF DEBRIS, ROCKS LARGER THAN TWO INCHES (2"), WOOD, ROOTS, VEGETABLE MATTER AND CLAY CLONES.
D. MULCH - FOUR (4") INCHES DOUBLE SHREDDED HARDWOOD BARK MULCH.
E. FERTILIZER AND SOIL CONDITIONER - PLANTED AREAS
F. ORGANIC FERTILIZER SHALL BE PROCESSED SEWER SLUDGE WITH MINIMAL CONTENT OF 1% NITROGEN AND 2% PHOSPHORIC ACID, EQUAL TO "NITROHUMUS".
G. ORGANIC FERTILIZER AND SOIL CONDITIONER - SHALL BE "GRO-POWER" AND ORGANIC BASE MATERIALS COMPRISED OF DECOMPOSED ANIMAL AND VEGETABLE MATTER, AND COMPOSTED TO SUPPORT BACTERIAL CULTURE, CONTAINING NO POULTRY OR HUMAN WASTE. GUARANTEED ANALYSIS (5-3-1); NITROGEN 5%, PHOSPHORUS 3%, POTASSIUM 1% AND 1% HUMIC ACID.
- GENERAL WORK PROCEDURES
A. LANDSCAPE WORK SHALL COMMENCE AS SOON AS THOSE PORTIONS OF THE SITE ARE AVAILABLE. CONTRACTOR TO UTILIZE WORKMANLIKE METHODS IN PERFORMING ALL LANDSCAPE CONSTRUCTION. THE SITE IS TO BE LEFT IN A CLEAN STATE AT THE END OF EACH DAY'S WORK. ALL DEBRIS, MATERIALS, AND WEEDS SHALL BE PROPERLY STOCKPILED OR DISPOSED OF. ALL PAVED SURFACES SHALL BE SWEEP CLEAN AT THE END OF EACH DAY'S WORK.
B. BEFORE AND DURING PRELIMINARY GRADING AND FINISH GRADING, ALL WEEDS AND GRASSES SHALL BE DIGG OUT BY THE ROOTS AND DISPOSED OF AT THE CONTRACTOR'S EXPENSE.
C. CONTRACTOR TO PROVIDE A 4" THICK TOPSOIL LAYER IN ALL PLANTING AREAS. TOPSOIL SHOULD BE SPREAD OVER A PREPARED SURFACE IN A UNIFORM LAYER TO PRODUCE A 4" UNSETTLED THICKNESS. TOPSOIL PRESENT AT THE SITE, IF ANY, MAY BE USED TO SUPPLEMENT TOTAL AMOUNT REQUIRED. CONTRACTOR TO FURNISH AN ANALYSIS OF ON-SITE TOPSOIL UTILIZED IN ALL PLANTING AREAS. ADJUST pH AND NUTRIENT LEVELS AS REQUIRED TO ENSURE AN ACCEPTABLE GROWING MEDIUM.
D. SOIL CONDITIONING:
1. CULTIVATE ALL AREAS TO BE PLANTED TO A DEPTH OF 6". ALL DEBRIS EXPOSED FROM EXCAVATION AND COLLATION SHALL BE DISPOSED OF AT THE CONTRACTOR'S EXPENSE. SPREAD EVENLY IN ALL PLANTING AREAS AND TILL (2 DIRECTIONS) INTO TOP 4" WITH THE FOLLOWING PER 1,000 SQ. FT.:
20 POUNDS GRO-POWER
100 POUNDS AGRICULTURAL GYPSUM
20 POUNDS NITROFORM (COURSE) 38-0-0 BLUE CHP
2. THOROUGHLY TILL ORGANIC MATTER INTO THE TOP 6 TO 12 IN. OF MOST PLANTING SOILS TO IMPROVE THE SOIL'S ABILITY TO RETAIN WATER AND NUTRIENTS. USE COMPOSTED BARK, RECYCLED YARD WASTE OR PEAT MOSS. ALL PRODUCTS SHOULD BE COMPOSTED TO A DARK COLOR AND BE FREE OF PIECES WITH IDENTIFIABLE LEAF OR WOOD STRUCTURE, AND MATTER WITH A pH HIGHER THAN 7.
3. MOISTEN HEAVY CLAY OR SILT (MORE THAN 40% CLAY OR SILT) BY ADDING COMPOSTED PINE BARK (UP TO 30% BY VOLUME) AND/OR GYPSUM. COARSE SAND MAY BE USED IF CHANGES ARE MADE TO BRING THE SAND CONTENT TO MORE THAN 60% OF THE TOTAL MIX. IMPROVE DRAINAGE IN HEAVY SOILS BY PLANTING ON RAISED MOUNDS OR BEDS INCLUDING SUBSURFACE DRAINAGE LINES.
4. MOISTEN EXTREMELY SANDY SOILS (MORE THAN 85% SAND) BY ADDING ORGANIC MATTER AND/OR DRY, SHREDDED CLAY LOAM UP TO 30% OF THE TOTAL MIX.
5. PLANTING POSITION TREES AND SHRUBS AT THEIR INTENDED LOCATIONS AS PER THE PLANS AND SECURE THE APPROVAL OF THE LANDSCAPE ARCHITECT BEFORE EXCAVATING PITS. MAKING NECESSARY ADJUSTMENTS AS DIRECTED.
6. PLANTING PITS SHALL BE DUG WITH LEVEL BOTTOMS, WITH THE WIDTH TWICE THE DIAMETER OF ROOT BALL. THE ROOT BALL SHALL REST ON UNDISTURBED GRADE. EACH TREE PLANT SHALL BE BACK FILLED WITH THE FOLLOWING PREPARED SOIL MIXED THOROUGHLY:
1 PART PEAT MOSS BY VOLUME
1 PART COM MANURE BY VOLUME
3 PARTS TOPSOIL BY VOLUME
21 GRAM AGRIFORM PLANTING TABLETS AS FOLLOWS:
1 TABLET PER 5 GAL PLANT
2 TABLETS PER 15 GAL PLANT
LARGE PLANTS (2) TWO TABLETS PER 1/2" DIAM. OF TRUNK CALIPER
7. PREPARED SOIL SHALL BE TAMPED FIRMLY AT BOTTOM OF PIT. FILL PREPARED SOIL AROUND BALL OF PLANT 1/2 WAY, AND INSERT PLANT TABLETS. COMPLETE BACK FILL AND WATER THOROUGHLY.
8. ALL PLANTS SHALL BE SET SO THAT THEY BEAR THE SAME RELATION TO THE REQUIRED GRADE AS THEY BORE TO THE NATURAL GRADE BEFORE BEING TRANSPORTED.
9. PREPARE BASED EARTH BASIN AS WIDE AS PLANTING HOLE OF EACH TREE.
10. WATER IMMEDIATELY AFTER PLANTING. WATER SHALL BE APPLIED TO EACH TREE AND SHRUB IN SUCH MANNER AS NOT TO DISTURB BACK FILL AND TO THE EXTENT THAT ALL MATERIALS IN THE PLANTING HOLE ARE THOROUGHLY SATURATED.
11. PRUNE ALL PROPOSED TREES DIRECTLY ADJACENT TO WALKWAYS TO A MIN. OF 7' BRANCHING HEIGHT.
12. GROUND COVER
A. ALL GROUND COVER AREAS SHALL RECEIVE A 1/4" LAYER OF HUMUS, BAKED INTO THE TOP 1" OF PREPARED SOIL PRIOR TO PLANTING GROUND COVER.
B. SPECIES AND VARIETY OF GROUND COVER SHALL BE AS SHOWN ON DRAWINGS.
C. IMMEDIATELY AFTER PLANTING GROUND COVER, CONTRACTOR SHALL THOROUGHLY WATER GROUND COVER.
D. ALL GROUND COVER AREAS SHALL BE TREATED WITH A PRE-EMERGENT BEFORE FINAL LANDSCAPE INSPECTION. GROUND COVER AREAS SHALL BE WEEDED PRIOR TO APPLYING PRE-EMERGENT, PRE-EMERGENT TO BE APPLIED AS PER MANUFACTURER'S RECOMMENDATION.
13. FINISH GRADING
A. ALL AREAS WILL BE RECEIVED BY THE CONTRACTOR OR SUBSTANTIALLY PLUS MINUS 1 FOOT OF FINISH GRADE.
B. ALL LAWN AND PLANTING AREAS SHALL BE GRADDED TO A SMOOTH, EVEN AND UNIFORM PLANE. NO ABRUPT CHANGE OF SURFACE, UNLESS OTHERWISE DIRECTED BY LANDSCAPE ARCHITECT. SOIL AREAS ADJACENT TO THE BUILDINGS SHALL SLOPE AWAY.
C. ALL PLANTING AREAS SHALL BE GRADDED AND MAINTAINED TO ALLOW FREE FLOW OF SURFACE WATER.
14. GUARANTEE
A. CONTRACTOR SHALL GUARANTEE ALL PLANTS FOR A PERIOD OF ONE (1) YEAR FROM ACCEPTANCE OF JOB. OWNER TO SECURE A MAINTENANCE BOND FROM THE CONTRACTOR FOR TEN PERCENT (10%) OF THE VALUE OF THE LANDSCAPE INSTALLATION WHICH WILL BE RELEASED AT THE COMMENCEMENT OF THE GUARANTEE PERIOD AND PASSES A FINAL INSPECTION BY THE OWNER OR OWNER'S REPRESENTATIVE.
15. CLEANUP
A. UPON THE COMPLETION OF ALL PLANTING WORK AND BEFORE FINAL ACCEPTANCE, THE CONTRACTOR SHALL REMOVE ALL MATERIAL, EQUIPMENT, AND DEBRIS RESULTING FROM HIS WORK. ALL GRAVED AREAS SHALL BE BROUEN CLEANED AND THE SITE LEFT IN A NEAT AND ACCEPTABLE CONDITION AS APPROVED BY THE OWNER'S AUTHORIZED REPRESENTATIVE.
B. MAINTAIN TREES, SHRUBS, AND OTHER PLANTS BY PRUNING, CULTIVATING AND WEEDING AS REQUIRED FOR HEALTHY GROWTH. RESTORE PLANTING SOCKETS, TIGHTEN AND REPAIR STAKE AND GUY SUPPORTS AND RESET TREES AND SHRUBS TO PROPER GRADDES OR VERTICAL POSITION AS REQUIRED. RESTORE, OR REPLACE DAMAGED WRAPPINGS. SPRAY WITH HERBICIDE AS REQUIRED TO KEEP TREES AND SHRUBS FREE OF INSECTS AND DISEASE.
C. MAINTAIN LAWNS BY WEEDING, MOWING, TRIMMING, AND OTHER OPERATIONS SUCH AS ROLLING, REGRADING AND REPLANTING AS REQUIRED TO ESTABLISH A SMOOTH, ACCEPTABLE LAWN, FREE OF PROUD OR BARE AREAS.
16. MAINTENANCE (ALTERNATE BID) COST PER MONTH AFTER INITIAL 90-DAY MAINTENANCE PERIOD.



BOROUGH LANDSCAPING REQUIREMENTS

- EXCLUSIVE OF INTERNAL ROADWAYS, DRIVEWAYS AND PARKING AREAS, THERE SHALL BE PROVIDED A MINIMUM OF 20% OF THE ENTIRE TRACT FOR COMMON OPEN SPACE AND FACILITIES. (§ 22-108.1.1)
- ALL PORTIONS OF THE PROPERTY NOT USED FOR OFF-STREET PARKING SHALL BE ATTRACTIVELY LANDSCAPED WITH GRASS LAWNS, TREES AND SHRUBS AS APPROVED BY THE APPROVING AUTHORITY. (§ 22-117.5.4)
- NO HEALTHY TREES ON THE PROPERTY SHALL BE DISTURBED OTHER THAN IN THE IMMEDIATE LOCATION OF CONSTRUCTION ACTIVITY.

TREE REPLACEMENT REQUIREMENTS

1. THE BOROUGH PLANNING BOARD OR BOARD OF ADJUSTMENT MAY USE THE FOLLOWING GUIDELINES FOR REPLACEMENT TREES. REPLACEMENT TREES, INCLUDING THE SIZE AND NUMBER OF TREES, SHALL BE PLANTED IN ACCORDANCE WITH THE FOLLOWING TABLE: (§ 2-28.9.g.7)

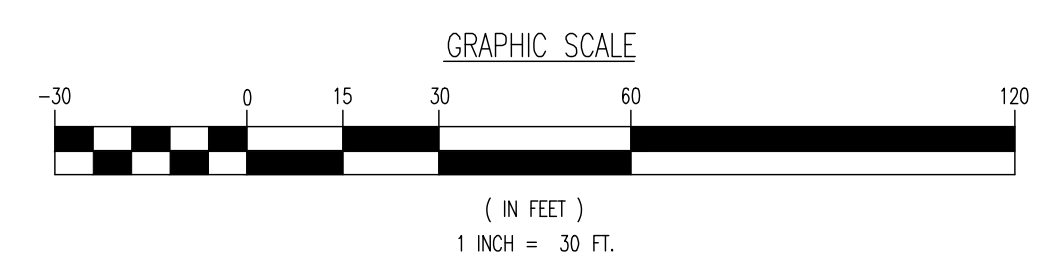
SIZE OF TREES REMOVED (INCHES DBH)	REQUIRED NUMBER OF REPLACEMENT TREES WITH AT LEAST A 7 1/2" DBH FOR EACH TREE REMOVED
4, BUT LESS THAN 6	1
6, BUT LESS THAN 12	2
12, BUT LESS THAN 18	3
18, BUT LESS THAN 24	4
24, BUT LESS THAN 36	5
36 OR ABOVE TO BE DETERMINED IN CONSULTATION WITH THE SHADE TREE ADVISORY BOARD AFTER CONSIDERATION OF THE PROJECT, BUT IN ANY EVENT, NOT LESS THAN 6 TREES.	6

- ALL REPLACEMENT TREES SHALL BE REPLACED WITH THE SAME SPECIES, EXCEPT IN THE CASE WHERE THE SPECIES IS KNOWN TO BE DISEASE PRONE OR OTHERWISE NOT ECOLOGICALLY APPROPRIATE. OTHER SPECIES SHALL BE PERMITTED WITH THE APPROVAL OF THE APPROPRIATE BOARD, AFTER CONSULTATION WITH THE SHADE TREE ADVISORY BOARD. ALL REPLACEMENT TREES SHALL BE NURSERY GROWN, CERTIFIED AND GUARANTEED TO HAVE A MINIMUM DBH OF 2.50 INCHES OR THE INDUSTRY STANDARD EQUIVALENT FOR THE SPECIES IF ORNAMENTAL. ALL TREES SHALL BE BALLED AND BURLAPPED AND PLANTED AS PER BOROUGH STANDARDS AS PROVIDED BY THE SHADE TREE ADVISORY BOARD. (§ 2-28.9.g.9)
- IF ALL REQUIRED REPLACEMENT TREES CANNOT BE PROVIDED ON THE SUBJECT LOT(S), AN OFF-SITE CONTRIBUTION IN THE AMOUNT OF \$400 PER EACH REQUIRED REPLACEMENT TREE SHALL BE MADE TO THE BOROUGH'S SHADE TREE REPLACEMENT FUND OR A LIKE NUMBER OF TREES TO BE ACCEPTED BY THE BOARD. IN EITHER CASE, SUCH FUND/TREES SHALL BE USED FOR THE PURCHASE OF OR REPLACEMENT OF TREES AND/OR MAINTENANCE OF BOROUGH TREES AS DETERMINED BY THE SHADE TREE ADVISORY BOARD, IN CONSULTATION WITH THE BOROUGH ADMINISTRATION. THE DETERMINATION TO AUTHORIZE THE ACCEPTANCE OF MONETARY CONTRIBUTIONS AND/OR TREES SHALL BE MADE BY THE BOROUGH PLANNING BOARD OR BOROUGH BOARD OF ADJUSTMENT, AS THE CASE MAY BE. (§ 2-28.9.4)

TREE REPLACEMENT CALCULATION

SIZE OF TREES REMOVED (INCHES DBH)	# OF TREES REMOVED	REQUIRED REPLACEMENT TREES FOR EACH TREE REMOVED	TOTAL REPLACEMENT TREES
4, BUT LESS THAN 6	30	1	30
6, BUT LESS THAN 12	22	2	44
12, BUT LESS THAN 18	18	3	54
18, BUT LESS THAN 24	11	4	44
24, BUT LESS THAN 36	6	5	30
>36	5	6	30
	TOTAL		232

EX. TREES WITHIN LIMITS OF SIGHT TRIANGLES TO BE LIMBED TO 7' ABOVE GRADE TO MAINTAIN CLEAR SIGHT DISTANCES



THIS PLAN SET IS FOR PERMITTING PURPOSES ONLY AND MAY NOT BE USED FOR CONSTRUCTION

LANDSCAPE PLAN

PROJECT: **INSITE DEVELOPMENT PARTNERS, LLC**
PROPOSED 4-STORY SELF STORAGE FACILITY

LOT 1.01: 119.00 AC.
LOT 1.01: 119.00 AC.
LOT 1.01: 119.00 AC.
US ROUTE 22 & WILSON AVENUE
BOROUGH OF NORTH PLAINFIELD, SOMERSET COUNTY, NEW JERSEY

JOB No: 3041-99-010
DATE: 09/13/2022
SCALE: (H) 1"=30' (V)
SHEET No: 8

DESIGNED BY: GMC
DRAWN BY: LPG
CHECKED BY: TJM
THOMAS J. MULLER
PROFESSIONAL ENGINEER
NEW JERSEY LICENSE No. 52179

JOHN A. PALUS
PROFESSIONAL ENGINEER
NEW JERSEY LICENSE No. 41975

PROTECT YOURSELF
ALL ISSUES REQUIRE REVIEW BY
ANOTHER ENGINEER. IF ANY
ISSUES ARE FOUND, THE REVIEWER
MAY SIGN THE SET.
FOR STATE SPECIFIC DIRECT PHONE NUMBERS VISIT
WWW.CALL811.COM

Rev. # 0

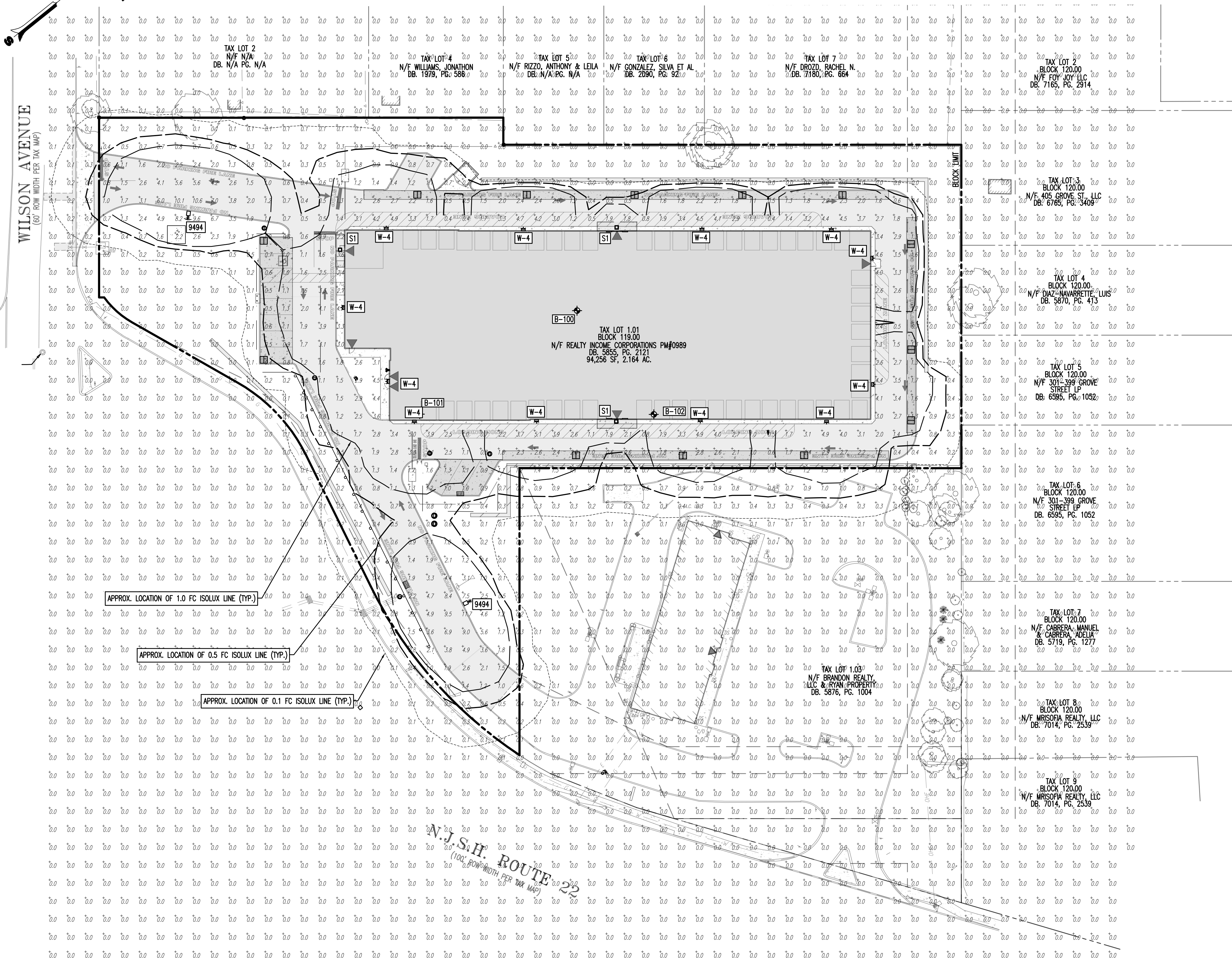
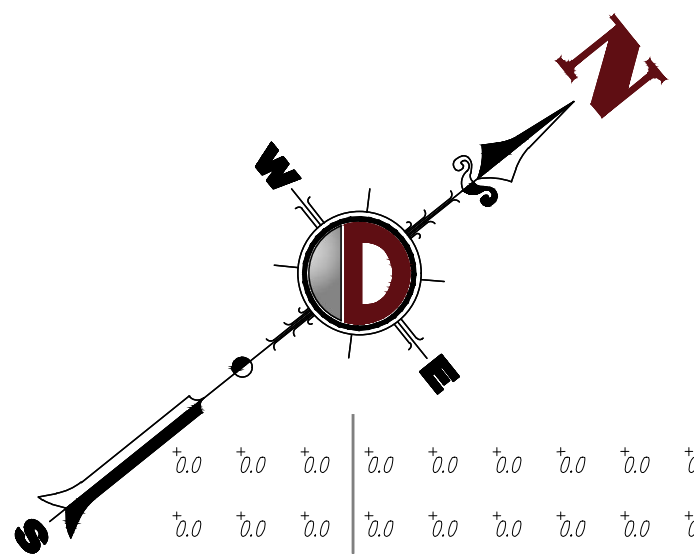
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Group: 09-010 North Plainfield\DWG\Amended Site Plans\3041\99\010\LO.dwg. --- LANDSCAPE PLAN
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GENERAL NOTES

1. THIS LIGHTING PLAN ILLUSTRATES ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY OF NORTH AMERICA (IESNA) APPROVED METHODS. ACTUAL SITE ILLUMINATION LEVELS AND PERFORMANCE OF LUMINAIRES MAY VARY DUE TO VARIATIONS IN WEATHER, ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, AND OTHER RELATED VARIABLE FIELD CONDITIONS.
2. ALL EXISTING CONDITIONS LIGHTING LEVELS ARE REPRESENTATIVE OF AN APPROXIMATION UTILIZING LABORATORY DATA FOR SIMILAR FIXTURES AND/OR ACTUAL FIELD MEASUREMENTS TAKEN WITH A LIGHT METER. DUE TO FACTORS SUCH AS FIXTURE MAINTENANCE, EQUIPMENT TOLERANCES, WEATHER CONDITIONS, ETC., ACTUAL LIGHTING LEVELS MAY DIFFER AND THE LIGHTING LEVELS DEPICTED ON THIS PLAN SHOULD BE CONSIDERED AS APPROXIMATE.
3. CONDUITS SHALL BE INSTALLED A MINIMUM OF 2 FEET BEHIND GUYARD POSTS.
4. ALL WIRING METHODS AND EQUIPMENT CONSTRUCTION SHALL CONFORM TO THE CURRENT NATIONAL ELECTRICAL CODE.
5. REFER TO ARCHITECTURAL PLANS FOR SITE LIGHTING DIAGRAM.

BOROUGH LIGHTING REQUIREMENTS

1. ADEQUATE ARTIFICIAL LIGHTING SHALL BE PROVIDED IN PARKING AREAS AND ALONG SIDEWALKS, WALKWAYS AND INTERNAL ROADWAYS. THE SOURCE OF LIGHTING SHALL BE DIRECTED DOWNWARD, AWAY FROM BUILDINGS AND ADJOINING STREETS AND PROPERTY LINES. LIGHTING FIXTURES SHALL BE SO ARRANGED THAT THE DIRECT SOURCE OF LIGHT IS NOT VISIBLE FROM ANY ADJACENT RESIDENCE AREA. (§ 22-108.3.3)
2. LIGHTING TO BE DESIGNED AND/OR SHIELDED TO PREVENT BEAM ENCROACHMENT OR GLARE ONTO DWELLINGS IN ANY RESIDENTIAL ZONE R-1 THROUGH R-5; OR ONTO ROADWAYS, CREATING A HAZARDOUS CONDITION TO MOTORISTS. (§ 22-115.15.e.1)
3. ANY LIGHTING IN CONNECTION WITH OFF-STREET PARKING SHALL BE SO ARRANGED AND SHIELDED AS TO REFLECT THE LIGHT DOWNWARD AWAY FROM ADJOINING STREETS OR PROPERTIES. (§ 22-117.5.c)
4. LIGHT FIXTURES ATTACHED TO THE EXTERIOR OF A BUILDING SHALL BE DESIGNED TO BE ARCHITECTURALLY COMPATIBLE WITH THE STYLE, MATERIALS, COLORS AND DETAILS OF SUCH BUILDING AND OTHER LIGHTING FIXTURES USED ON THE SITE. CONSIDERATION SHALL ALSO BE GIVEN TO THE TYPE OF LIGHT SOURCE UTILIZED AND THE LIGHT QUALITY SUCH PRODUCES. THE TYPE OF LIGHT SOURCE USED ON BUILDINGS, SIGNS, PARKING AREAS, PEDESTRIAN WALKWAYS AND OTHER AREAS OF A SITE SHALL BE THE SAME OR COMPATIBLE. THE USE OF LOW-PRESSURE SODIUM OR MERCURY VAPOR LIGHTING EITHER ATTACHED TO BUILDINGS OR TO LIGHT THE EXTERIOR OF BUILDINGS SHALL BE PROHIBITED. LIGHTING FOR PARKING LOTS MUST MAINTAIN A MINIMUM OF 0.33 FOOT-CANDELS IN ACCORDANCE WITH THE STANDARDS CONTAINED IN THE BOROUGH LAND DEVELOPMENT ORDINANCE. (§ 22-138.2.)
4. EXTERIOR LIGHTS OTHER THAN SECURITY LIGHTING AROUND THE BUILDING SHALL OPERATE ONLY FROM ONE HOUR PRIOR TO OPENING UNTIL ONE HOUR AFTER CLOSING.



APPROX. LOCATION OF 1.0 FC ISOLUX LINE (TYP.)

APPROX. LOCATION OF 0.5 FC ISOLUX LINE (TYP.)

APPROX. LOCATION OF 0.1 FC ISOLUX LINE (TYP.)

STATISTICAL AREA SUMMARY

LABEL	AVERAGE	MAXIMUM	MINIMUM	AVG./MIN.	MAX./MIN.	DESCRIPTION
PAVEMENT AREA	2.23	11.7	0.4	5.58	29.25	LIGHT LEVELS WITHIN PAVEMENT AREAS

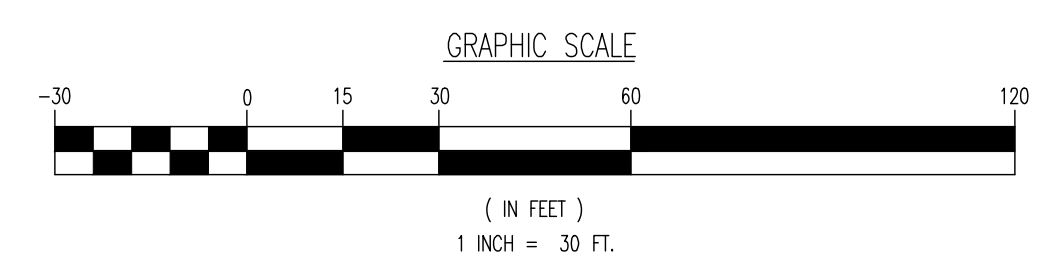
LIGHTING LUMINAIRE SCHEDULE

SYMBOL	QUANTITY	LABEL	MOUNTING HEIGHT	ARRANGEMENT	LIGHT LOSS FACTOR	MANUFACTURER	COLOR	IES FILE
	2	9494	18 FT	SINGLE	1.000	NATURALLED	BLACK	9494 FXCAL150-840-82-3S WITH BACK SHIELDS
	12	W-4	14 FT	SINGLE	1.000	NLS LIGHTING LLC	BLACK	NW-W-14-16L-1-30KIES
	3	S1	12 FT	SINGLE	1.000	DIODE LED	WHITE	DI-24V-TE-ATX-400-30KIES

ISO CURVES ARE MAINTAINED AND SHOWN AT 0.5 AND 0.1 FC.

(FM) - FLUSH MOUNT FOUNDATION (PF) - PEDESTAL FOUNDATION

THE CALCULATIONS SHOWN WERE MADE UTILIZING ACCEPTED PROCEDURES OF THE ILLUMINATING ENGINEERING SOCIETY OF NORTH AMERICA. VARIATIONS IN LAMP OUTPUT, BALLAST OUTPUT, LINE VOLTAGE, DIRT DEGRADATION, AND OTHER FACTORS MAY AFFECT ACTUAL RESULTS. UNLESS OTHERWISE STATED, ALL RESULTS ARE MAINTAINED VALUES, UTILIZING ACCEPTED LIGHT LOSS FACTORS (LLF).



SEE SHEET 18 OF 20 FOR LIGHTING DETAILS

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www.dynamiceng.com

TITLE: **LIGHTING PLAN**

PROJECT: **INSITE DEVELOPMENT PARTNERS, LLC PROPOSED 4-STORY SELF STORAGE FACILITY**

BLOCK 119.00, LOT 1.01
US ROUTE 22 & WILSON AVENUE
BOROUGH OF NORTH PLAINFIELD, SOMERSET COUNTY, NEW JERSEY

JOB No: 3041-99-010
DRAWN BY: GMC
DESIGNED BY: LPG
CHECKED BY: TJM

DATE: 09/13/2022
SCALE: (H) 1"=30'
(V)
SHEET No: 9 OF 20

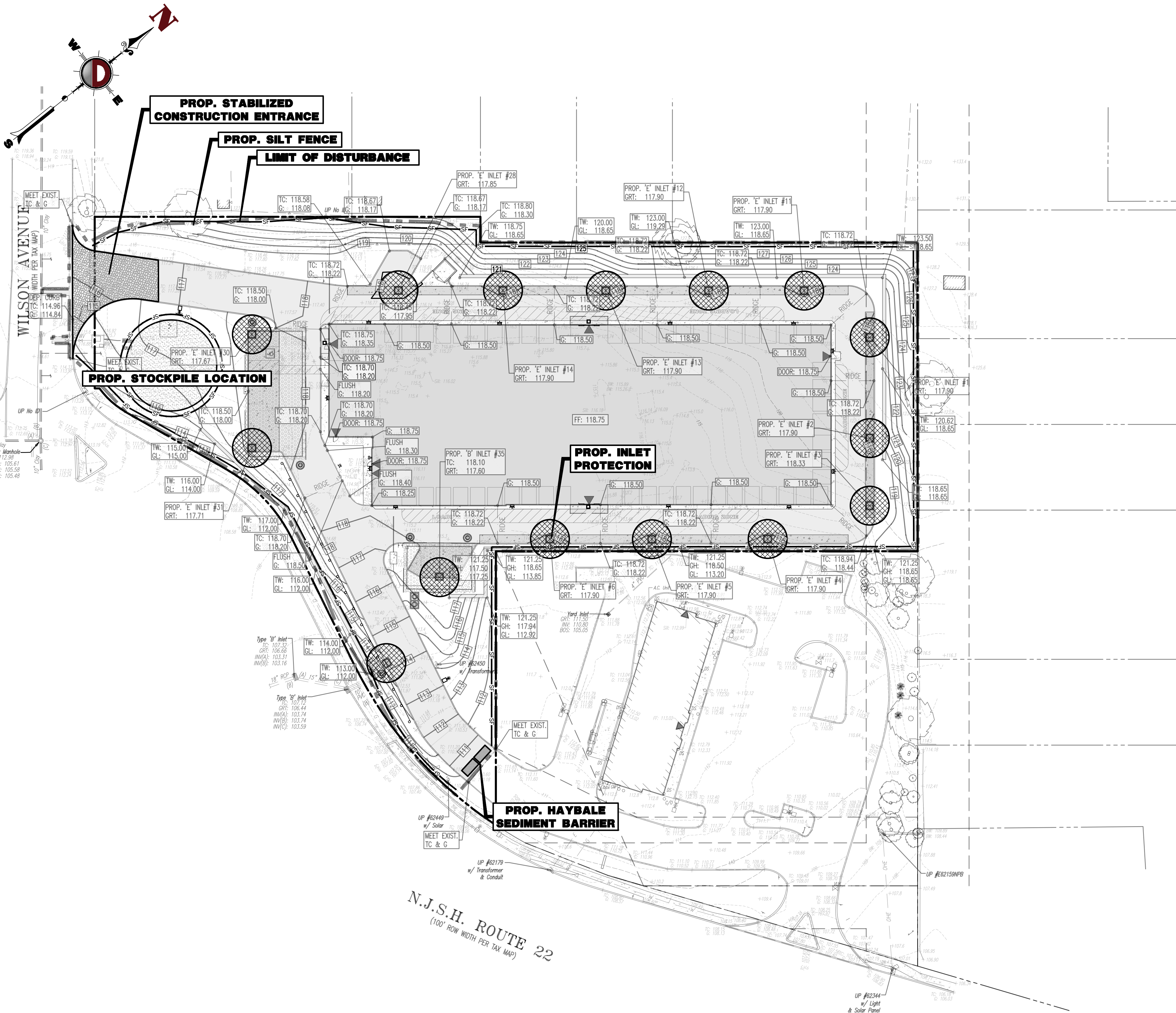
THOMAS J. MULLER
PROFESSIONAL ENGINEER
NEW JERSEY LICENSE No. 52179

JOHN A. PALUS
PROFESSIONAL ENGINEER
NEW JERSEY LICENSE No. 41975

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ALL STATE-REGISTERED PROFESSIONAL ENGINEERS OR ARCHITECTS MUST BE LICENSED IN THE STATE WHERE THEY ARE PROVIDING SERVICES. IF YOU ARE PREPARING TO OBTAIN THE SERVICES OF AN ENGINEER OR ARCHITECT, PLEASE VERIFY THE ENGINEER'S OR ARCHITECT'S LICENSE STATUS AND NUMBER.

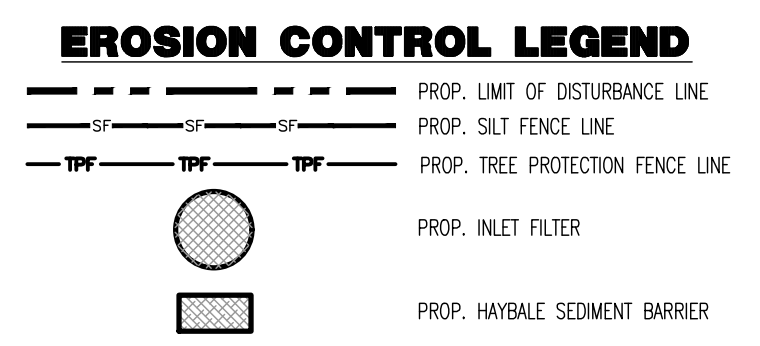
FOR STATE-REGISTERED PROFESSIONAL ENGINEERS VISIT: www.call811.com

Plotted: 09/27/22 - 1:23 PM. By: gowdrick, Group: 99-010 North Plainfield\Draw\Amended Site Plans\304199010S01.dwg. ---> LIGHTING PLAN



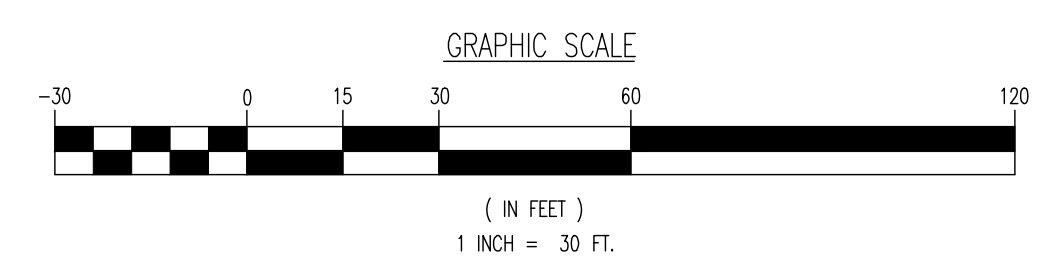
AS DETERMINED BY THE STATE POLICY MAP, THE PROJECT AREA FALLS WITHIN THE METROPOLITAN PLANNING AREA (PA1) AND IS CONSIDERED "PREVIOUSLY DEVELOPED" UNDER EXISTING CONDITIONS, AND IS THEREFORE EXEMPT FROM THE SOIL COMPACTION REQUIREMENTS.

THE SITE SHALL BE FENCED DURING CONSTRUCTION IN A MANNER TO PROTECT AGAINST PUBLIC ENTRY ON THE PROPERTY.



LIMIT OF DISTURBANCE = 93,736.5 SF. (2.15 Ac.)

N.J.S.H. ROUTE 22
(100' ROW WIDTH PER TAX MAP)



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Allen, Texas | 1-972-334-2100 | Austin, Texas | 1-214-244-2444 | Houston, Texas | 1-281-789-6400 | Delta Beach, North Carolina | 1-843-921-8510
Newtown, Pennsylvania | 1-247-685-0274 | Philadelphia, Pennsylvania | 1-215-253-4888 | Bethlehem, Pennsylvania | 1-610-978-4400

TITLE: **SOIL EROSION & SEDIMENT CONTROL PLAN**

PROJECT: **INSITE DEVELOPMENT PARTNERS, LLC
PROPOSED 4-STORY SELF STORAGE FACILITY**

BLOCK 119.00, LOT 1.01
US ROUTE 22 & WILSON AVENUE
BOROUGH OF NORTH PLAINFIELD, SOMERSET COUNTY, NEW JERSEY

JOB No: 3041-99-010
DATE: 09/13/2022
DRAWN BY: GMC
SCALE: (H) 1"=30'
(V)
DESIGNED BY: LPG
SHEET No:
CHECKED BY: TJM
THOMAS J. MULLER
PROFESSIONAL ENGINEER
NEW JERSEY LICENSE No. 52179
CHECKED BY: JOHN A. PALUS
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811 PROTECT YOURSELF
ALL STATES REQUIRE NOTIFICATION OF
UNDERGROUND UTILITIES. IF ANY UTILITY
PRESENCE IS SUSPECTED, STOP WORK
PREPARE TO OBTAIN THE UTILITY
SERVICE NUMBERS. CALL 811.
FOR STATE SPECIFIC DIRECT PHONE NUMBERS VISIT:
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Plotted: 09/27/22 - 1:23 PM, By: gowdrick, Product Ver: 24.1s (LMS Tech)
File: P:\BECPC PROJECTS\3041 InSite Property Group\3041-010 North Plainfield\Draw\Amended Site Plans\304119910SE02.dwg, ---> SOIL EROSION & SEDIMENT CONTROL PLAN

STANDARD FOR STABILIZATION WITH MULCH ONLY

- 1. SITE PREPARATION
A. GRADE AS NEEDED AND FEASIBLE TO PERMIT THE USE OF CONVENTIONAL EQUIPMENT FOR SEEDBED PREPARATION, SEEDING, MULCH APPLICATION, AND MULCH ANCHORING...
2. PROTECTIVE MATERIALS
A. UNWOVELED SMALL-GRAIN STRAW...
3. MULCH ANCHORING - SHOULD BE ACCOMPLISHED IMMEDIATELY AFTER PLACEMENT OF HAY OR STRAW MULCH TO MINIMIZE LOSS BY WIND OR WATER...

STANDARD FOR DUST CONTROL

DEFINITION - TO CONTROL DUST ON CONSTRUCTION SITES AND ROADS.
PURPOSE - TO PREVENT BLOWING AND MOVEMENT OF DUST FROM EXPOSED SOIL SURFACES, REDUCE ON-AND OFF- SITE DAMAGE AND HEALTH HAZARDS, AND IMPROVE TRAFFIC SAFETY.
WHERE APPLICABLE - THE FOLLOWING METHODS SHOULD BE CONSIDERED FOR CONTROLLING DUST:
MULCHES - SEE STANDARDS FOR STABILIZATION WITH MULCHES ONLY.

Table with 4 columns: ANIONIC ASPHALT, EMULSION LATEX EMULSION, RESIN IN WATER, WATER DILUTION, TYPE OF NOZZLE, APPLY GALLONS/ACRE.

TILLAGE - TO ROUGHEN SURFACE AND BRING CLODS TO THE SURFACE. THIS IS A TEMPORARY EMERGENCY MEASURE WHICH SHOULD BE USED BEFORE SOIL BLOWING STARTS...
SPRINKLING - SITE IS EQUIPPED WITH THE SURFACE IS WET.
BARRIERS - SOLD BOARD FENCES, SNOW FENCES, BURRAP FENCES, CRATE WALLS, BALES OF HAY, AND SIMILAR MATERIAL CAN BE USED TO CONTROL AIR CURRENTS...

SOMERSET-UNION SOIL CONSERVATION DISTRICT SOIL EROSION & SEDIMENT CONTROL NOTES:

- 1. ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE INSTALLED PRIOR TO ANY MAJOR SOIL DISTURBANCES, OR IN THEIR PROPER SEQUENCE AND MAINTAINED UNTIL PERMANENT PROTECTION IS ESTABLISHED.
2. ANY DISTURBED AREAS THAT WILL BE LEFT EXPOSED MORE THAN 30 DAYS AND NOT SUBJECT TO CONSTRUCTION TRAFFIC, WILL IMMEDIATELY RECEIVE A TEMPORARY SEEDING...
3. PERMANENT VEGETATION SHALL BE SEEDING OR SOODED ON ALL EXPOSED AREAS WITHIN TEN (10) DAYS AFTER FINAL GRADING...
4. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE NJ STATE STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL IN NEW JERSEY, 7TH EDITION LAST REVISED JANUARY 2014...

STANDARD FOR PERMANENT VEGETATIVE COVER FOR SOIL STABILIZATION

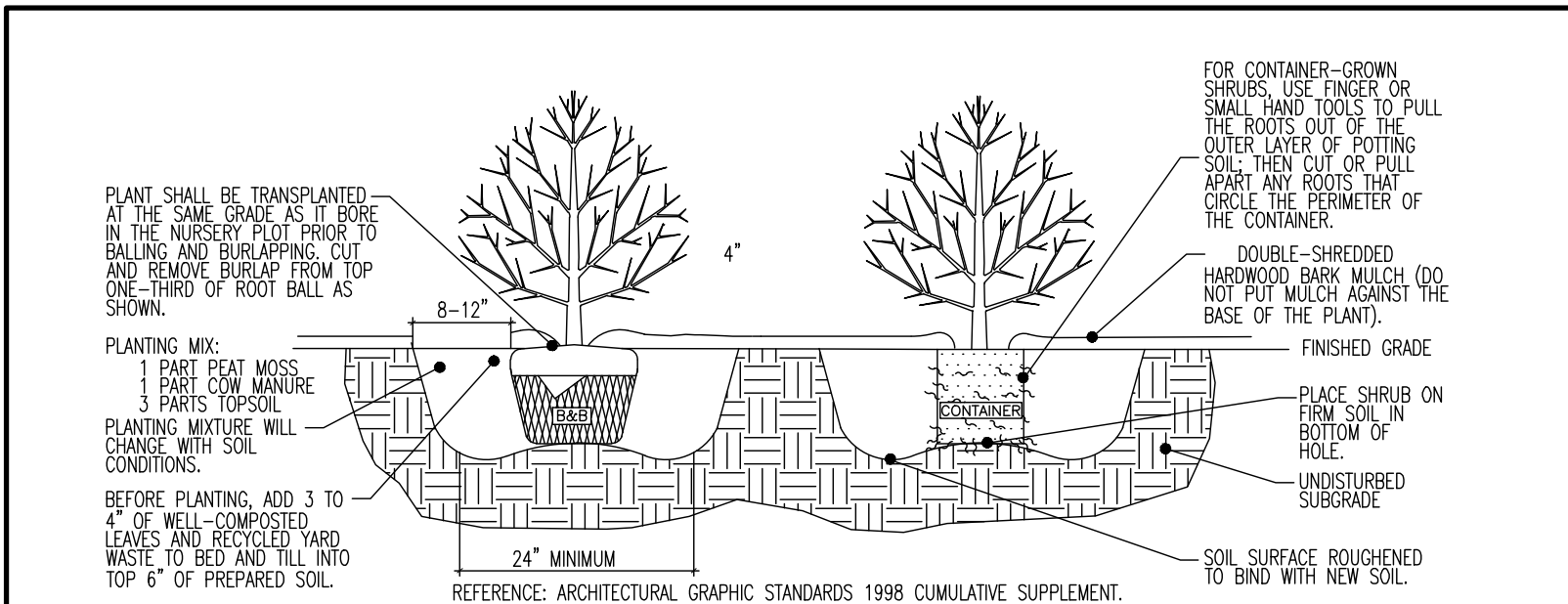
- 1. SITE PREPARATION
A. GRADE AS NEEDED AND FEASIBLE TO PERMIT THE USE OF CONVENTIONAL EQUIPMENT FOR SEEDBED PREPARATION, SEEDING, MULCH APPLICATION, AND MULCH ANCHORING...
2. SEEDBED PREPARATION
A. UNIFORMLY APPLY GROUND LIMESTONE AND FERTILIZER TO TOPSOIL WHICH HAS BEEN SPREAD AND FIRMED...
3. SEEDING
A. PERMANENT VEGETATIVE MIXTURES & PLANTING RATES
(1) HARD FESCUE - 175 LBS/ACRE
(2) CHEWING FESCUE - 175 LBS/ACRE
(3) STRONG CREeping RED FESCUE - 175 LBS/ACRE

APPLICATION: SPREAD MULCH UNIFORMLY BY HAND OR MECHANICALLY SO THAT APPROXIMATELY 80% OF THE SOIL SURFACE WILL BE COVERED FOR UNIFORM DISTRIBUTION OF HAND-SPREAD MULCH...
ANCHORING SHALL BE ACCOMPLISHED IMMEDIATELY AFTER PLACEMENT TO MINIMIZE LOSS BY WIND OR WATER...
MULCHING IS REQUIRED ON ALL SEEDING. MULCH WILL PROTECT AGAINST EROSION BEFORE GRASS IS ESTABLISHED...

APPLICATION: SPREAD MULCH UNIFORMLY BY HAND OR MECHANICALLY SO THAT APPROXIMATELY 95% OF THE SOIL SURFACE WILL BE COVERED...
ANCHORING SHALL BE ACCOMPLISHED IMMEDIATELY AFTER PLACEMENT TO MINIMIZE LOSS BY WIND OR WATER...
MULCHING IS REQUIRED ON ALL SEEDING. MULCH WILL INSURE AGAINST EROSION BEFORE GRASS IS ESTABLISHED...

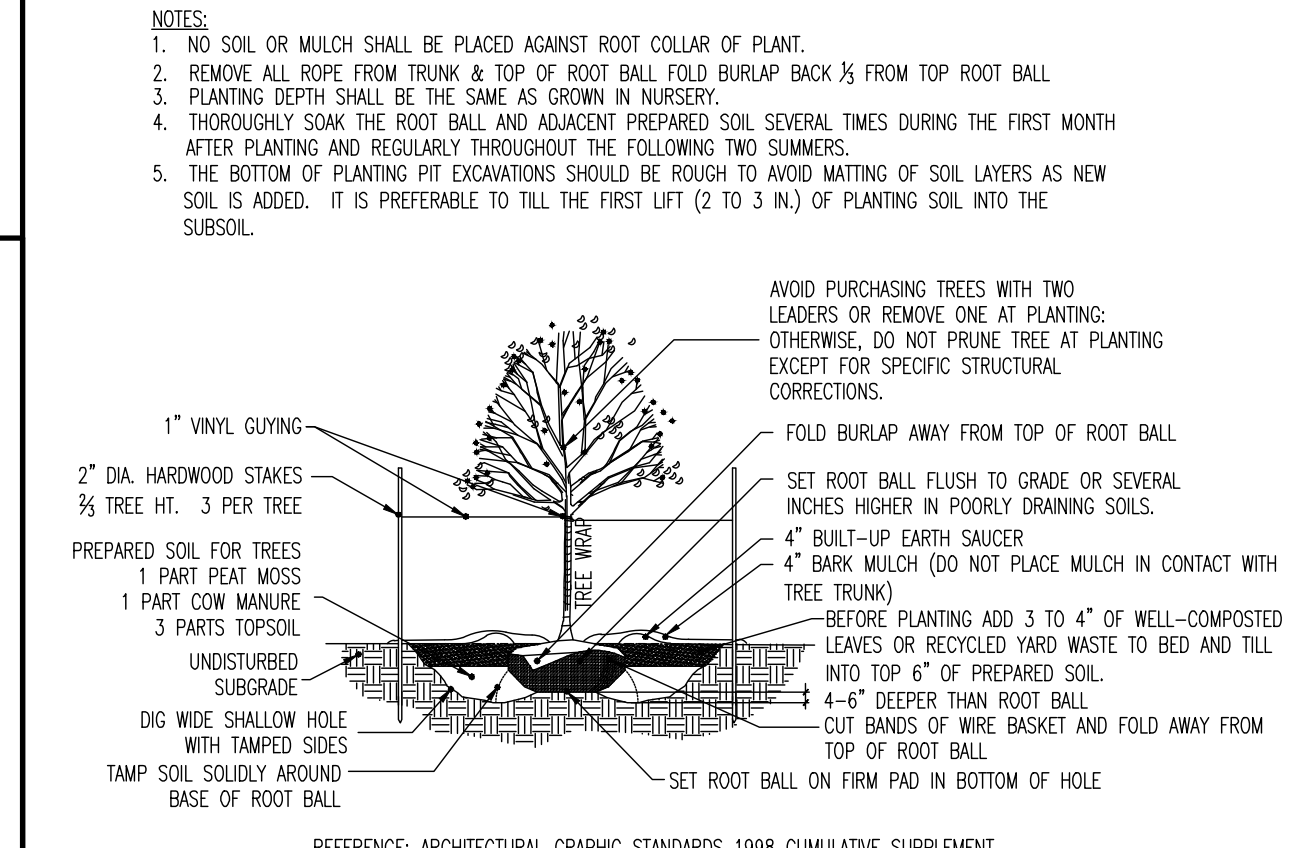
SEQUENCE OF CONSTRUCTION:

- PHASE 1: INSTALL STONE ANTI-TRACKING PAD AND OTHER SOIL EROSION AND SEDIMENT CONTROL MEASURES INCLUDING DOWN SLOPE PERIMETER HAYBALES, SILT FENCING AND TREE PROTECTION FENCING.
PHASE 2: CLEAR AND ROUGH GRADE FOR NEW BUILDING SITE AND OTHER STRUCTURES REQUIRING EXCAVATION.
PHASE 3: EXCAVATION, CONSTRUCTION, AND STABILIZATION OF DETENTION BASINS, EXCAVATE AND INSTALL UNDERGROUND PIPING AND DRAINAGE STRUCTURES.



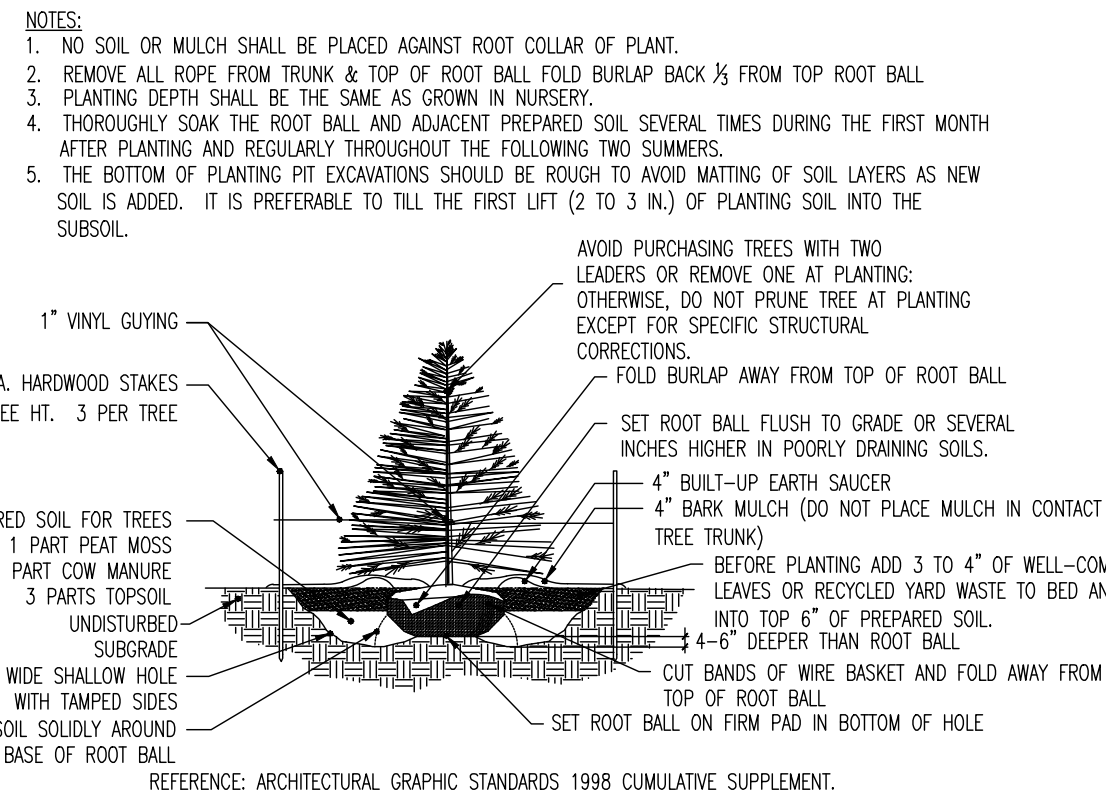
DECIDUOUS AND EVERGREEN SHRUB PLANTING DETAIL

NOT TO SCALE



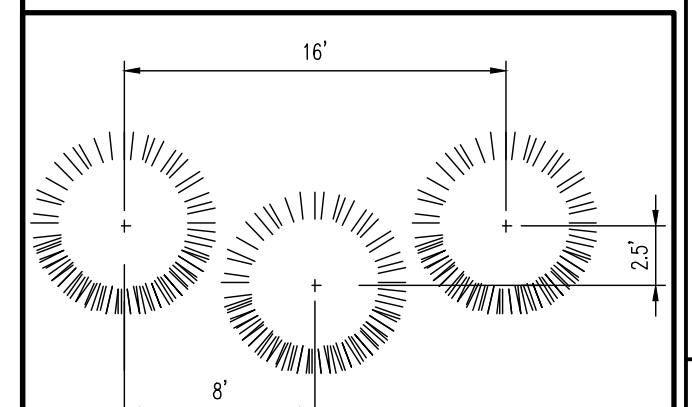
DECIDUOUS TREE PLANTING DETAIL

NOT TO SCALE



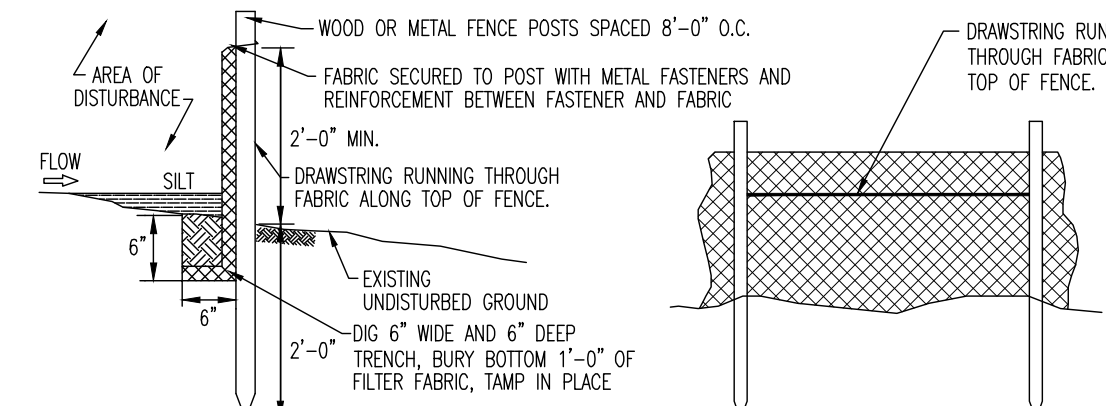
EVERGREEN TREE PLANTING DETAIL

NOT TO SCALE



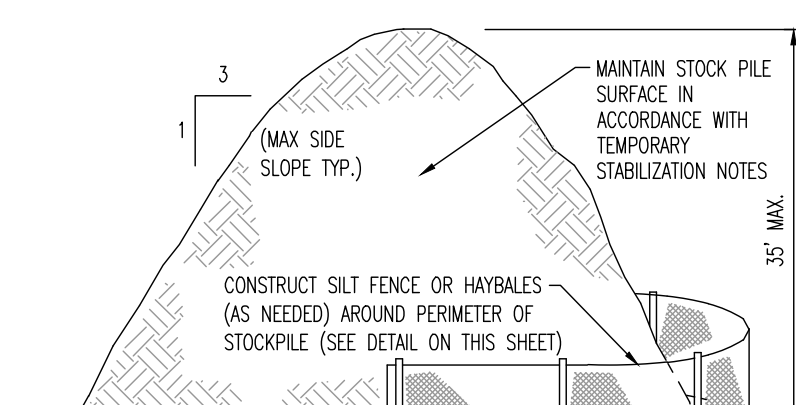
EVERGREEN SCREENING SPACING DETAIL

NOT TO SCALE



SILT FENCE DETAIL

NOT TO SCALE

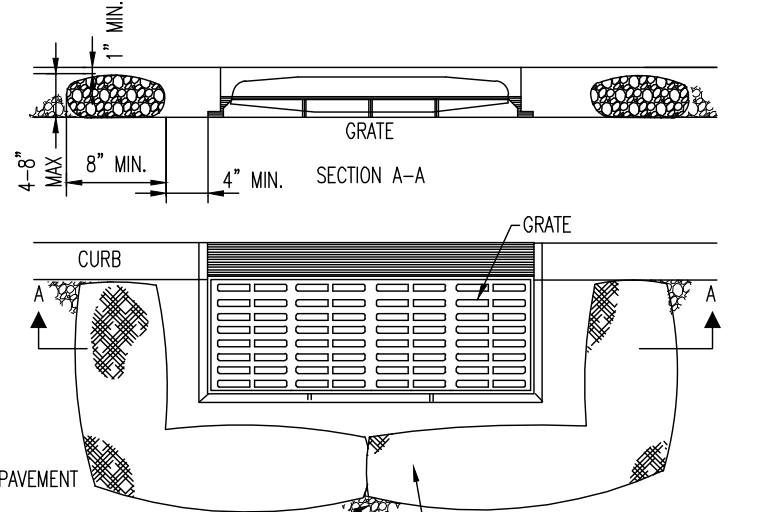


TEMPORARY STOCKPILE DETAIL

NOT TO SCALE

- 1. PLACE SILT FENCE AT LOCATIONS AS SHOWN ON THE SOIL EROSION AND SEDIMENT CONTROL PLAN.
2. THE SLOPE OF THE LAND FOR AT LEAST 30 FEET ADJACENT TO ANY SILT FENCE SHALL NOT EXCEED 5 PERCENT.
3. SILT FENCE SHALL BE INSTALLED SO WHEN CANNOT BE OPENED TO THE FENCE ALONG THE SLOPE.
4. INSPECTION SHALL BE PERFORMED DURING THE PROJECT UNLESS OTHERWISE INSTRUCTED BY THE TOWNSHIP ENGINEER OR SOIL CONSERVATION DISTRICT.

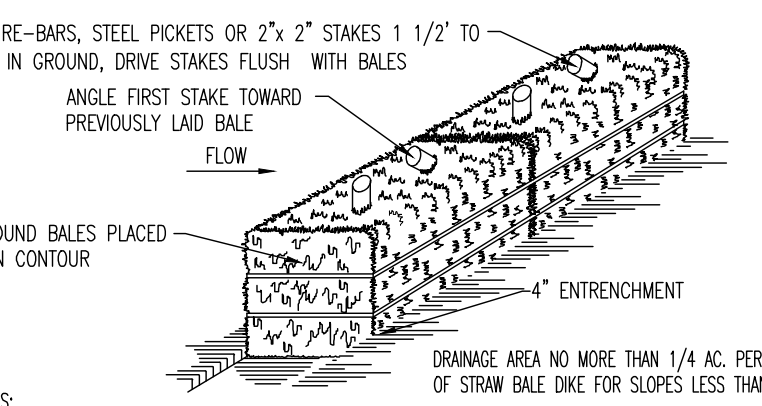
- NOTES:
1. NO SOIL OR MULCH SHALL BE PLACED AGAINST ROOT COLLAR OF PLANT.
2. REMOVE ALL ROPE FROM TRUNK & TOP OF ROOT BALL FOLD BURLAP BACK 1/2 FROM TOP ROOT BALL.
3. PLANTING DEPTH SHALL BE THE SAME AS GROWN IN NURSERY.



INLET FILTER DETAIL

NOT TO SCALE

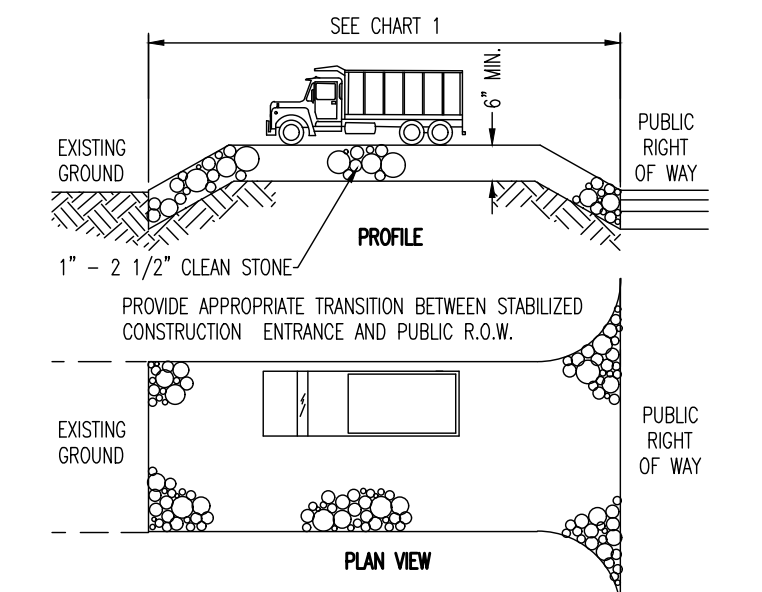
- NOTES:
1. GEOTEXTILE TO BE WOVEN POLYPROPYLENE PRODUCT #1175, BY SYNTHETIC INDUSTRIES INC., OR TERRACEX SC, BY WETEC INC., OR APPROVED EQUAL.
2. 3/4" CLEAN STONE CORE SHALL BE COMPLETELY CONTAINED WITHIN GEOTEXTILE. SEAMS SHALL BE SEWN OR COVERED BY STRIPE MECHANICAL WEBS TO PREVENT LEAKAGE OF STONE.



HAYBALE SEDIMENT BARRIER DETAIL

NOT TO SCALE

- NOTES:
1. BALES SHALL BE PLACED AT THE TOP OF A SLOPE OR ON THE CONTOUR AND IN A ROW WITH ENDS TIGHTLY BUTTING THE ADJACENT BALES.
2. EACH BALE SHALL BE PLACED ON THE ENDINGS ARE HORIZONTAL.
3. BALES SHALL BE SECURELY ANCHORED IN PLACE BY EITHER TWO STAKES OR RE-BARS DRIVEN THROUGH THE BALE.



STABILIZED CONSTRUCTION ENTRANCE

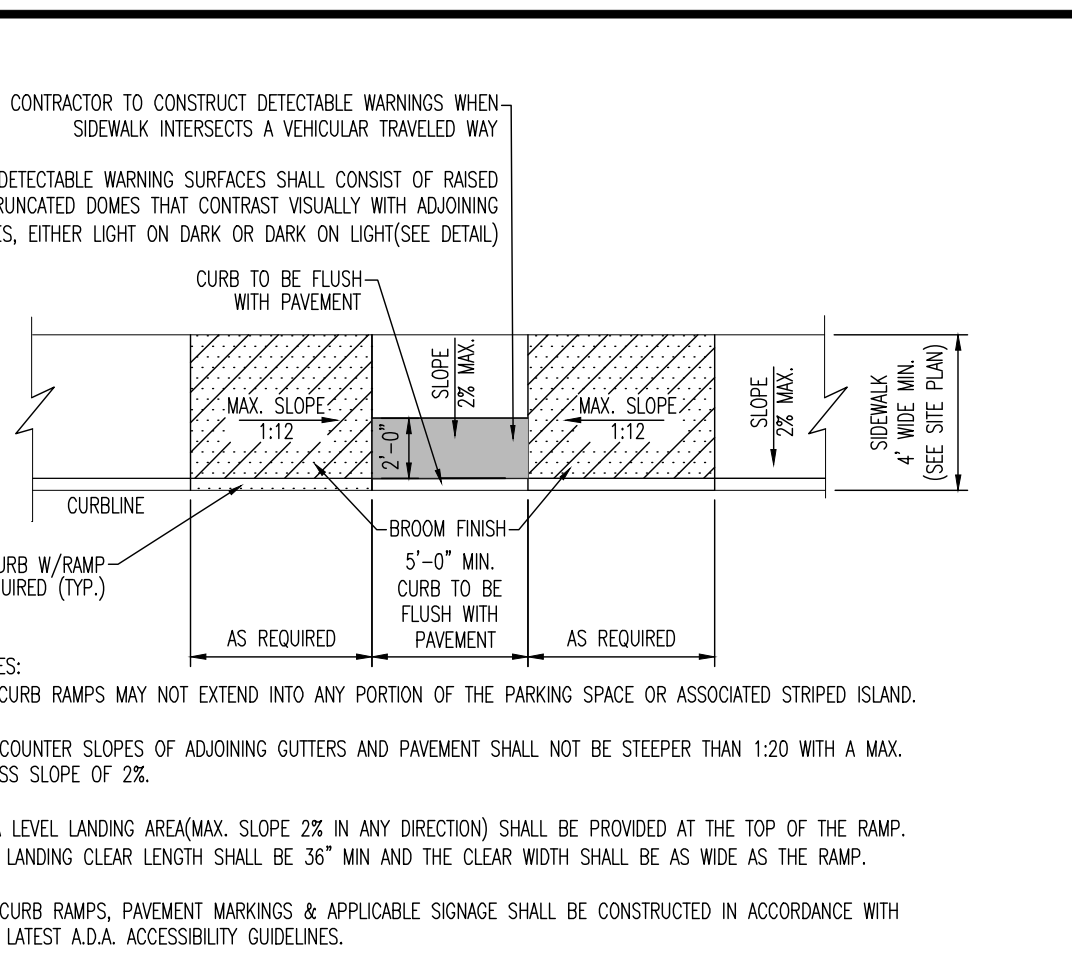
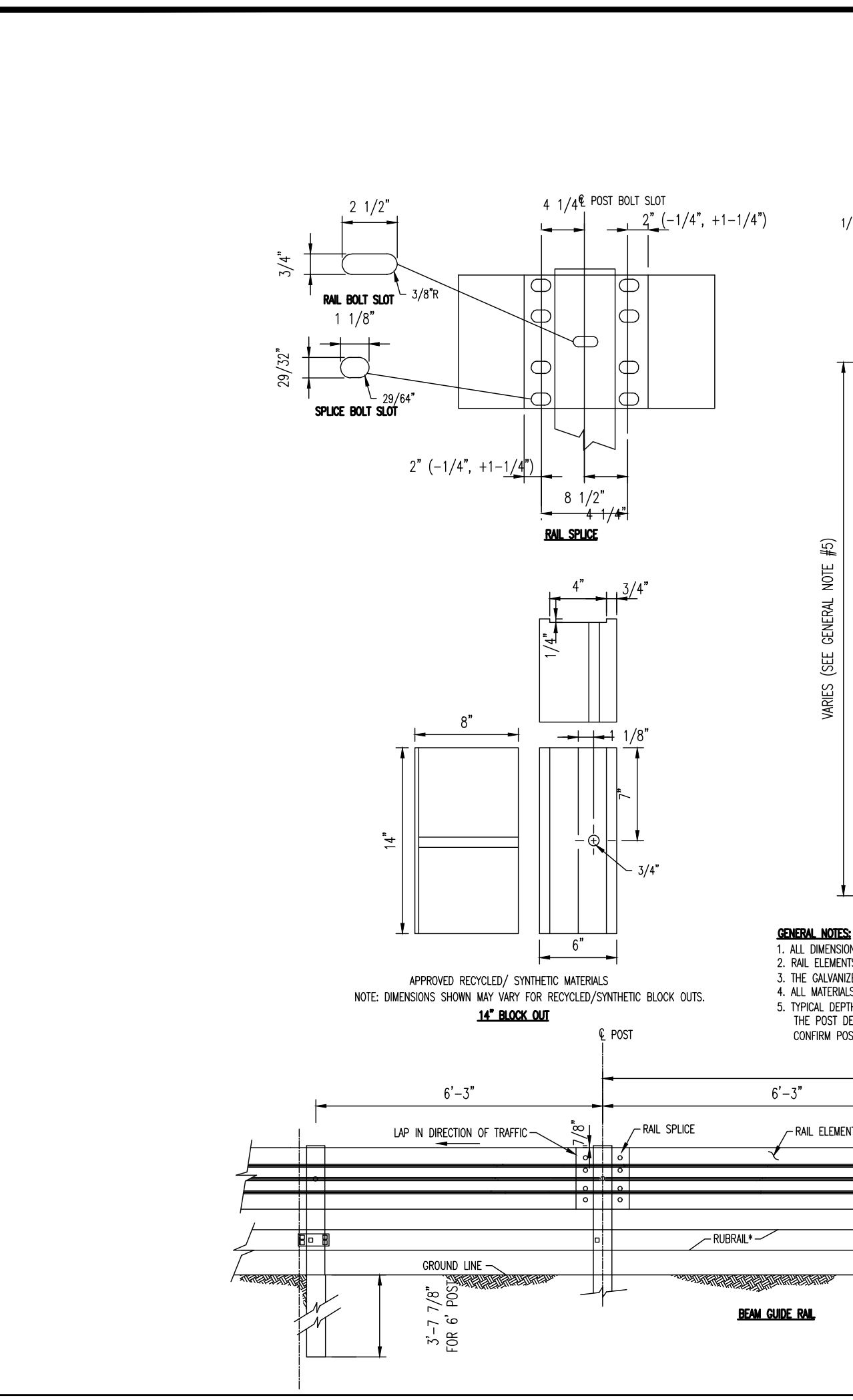
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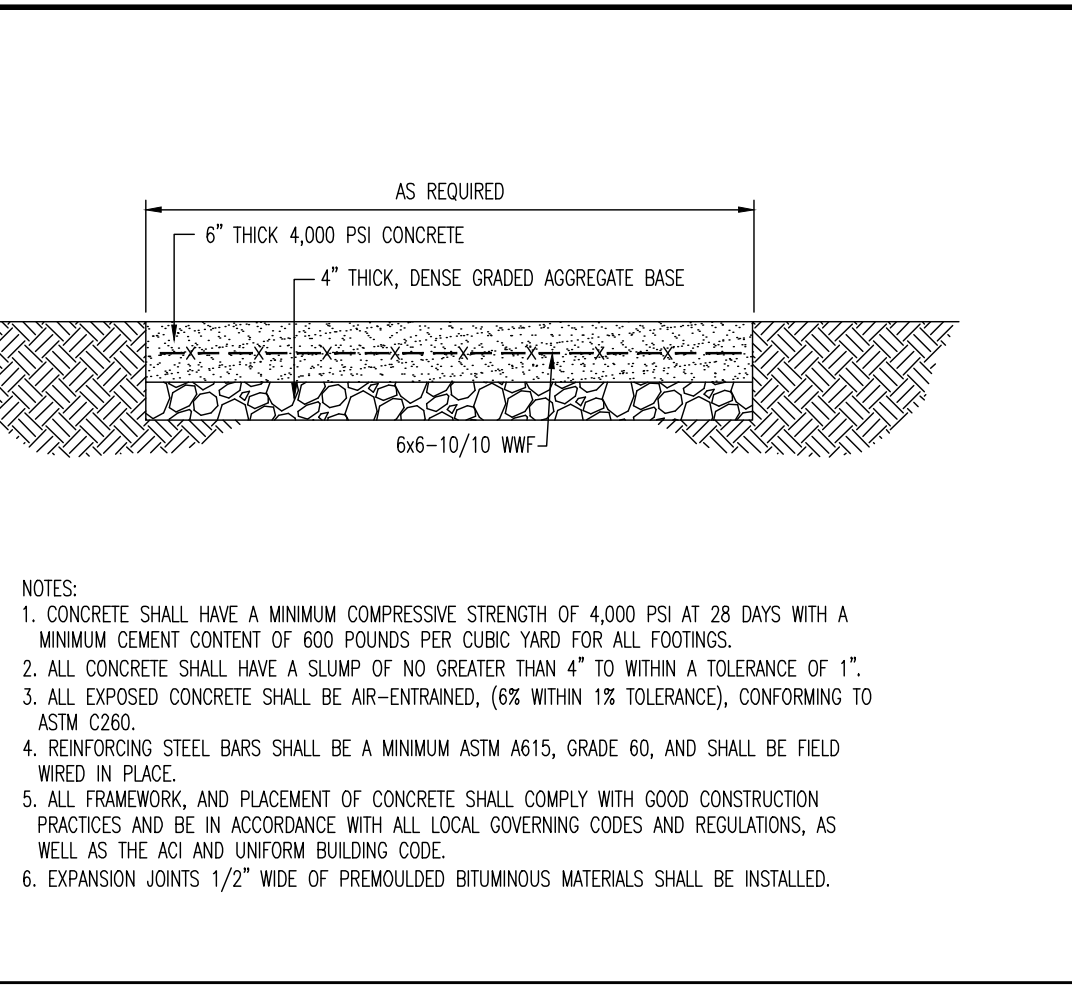
CONSTRUCTION DETAILS. PROJECT: INSITE DEVELOPMENT PARTNERS, LLC PROPOSED 4-STORY SELF STORAGE FACILITY. JOB No: 3041-99-010. DATE: 09/13/2022. THOMAS J. MULLER, JOHN A. PALUS. PROFESSIONAL ENGINEER.

Product Ver: 24.1s (LMS Tech)
Group: 09-010 North Plainfield (Dwg) Amended Site Plans \D304199010SD0.dwg
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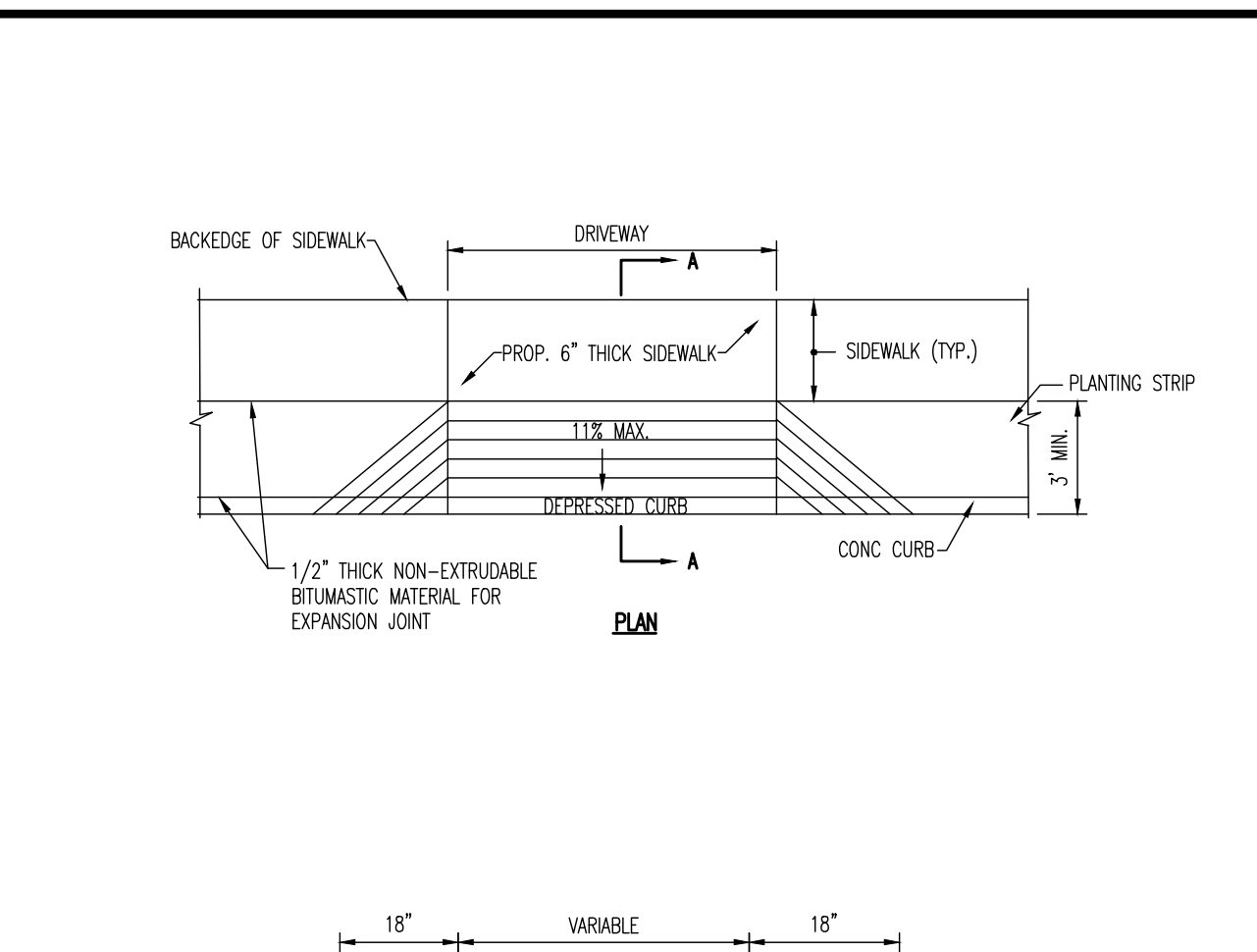
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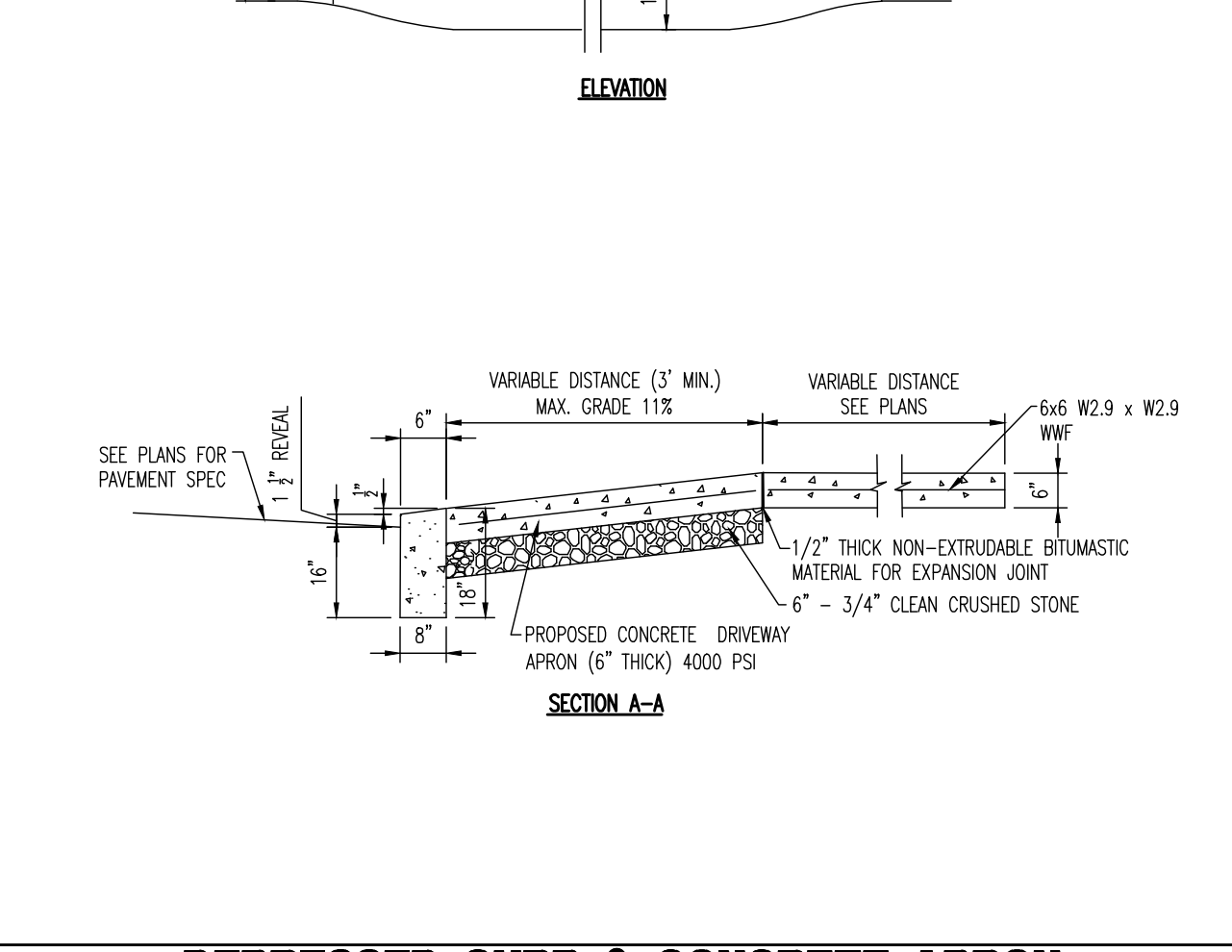
A.D.A. PARALLEL CURB RAMP DETAIL
NOT TO SCALE



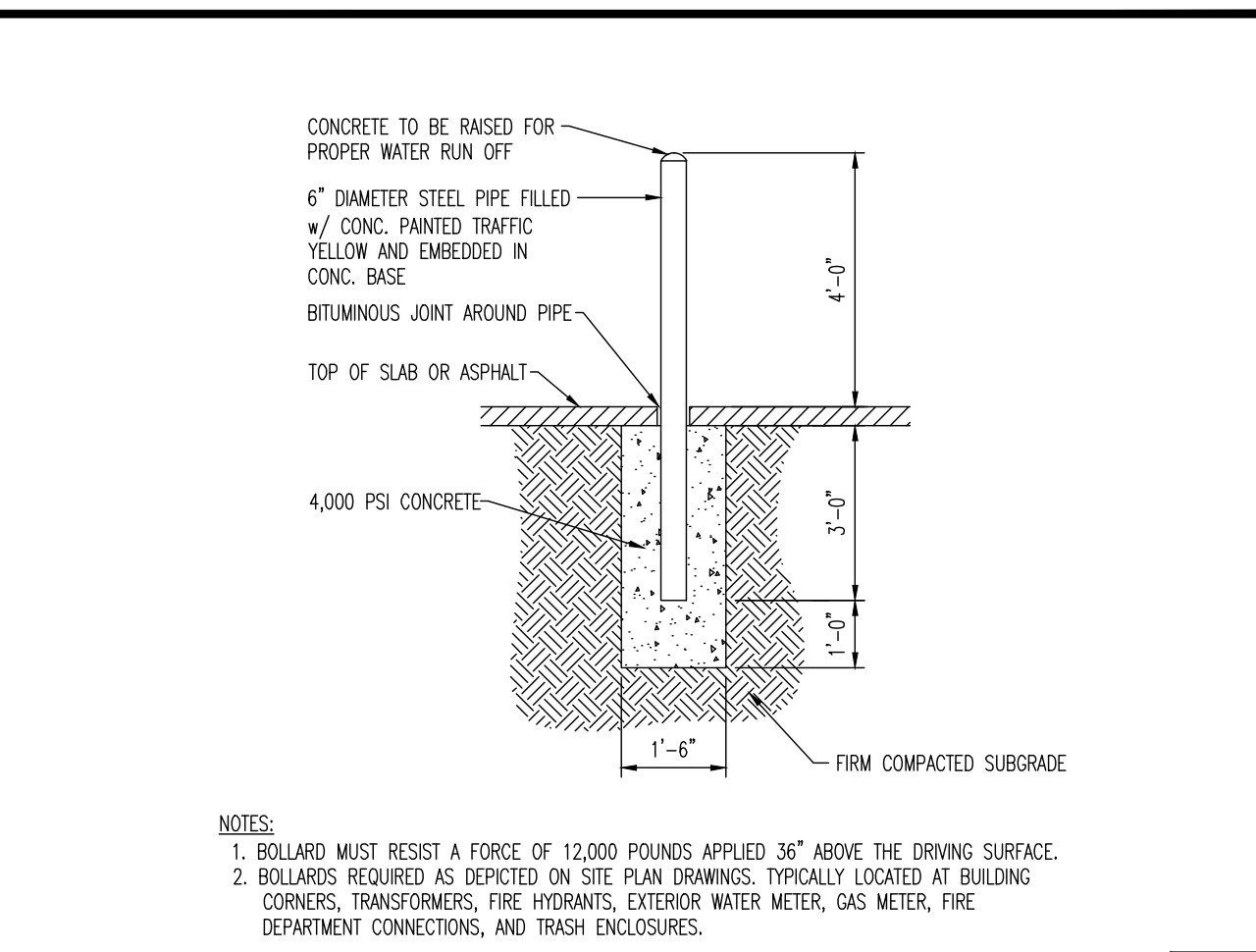
CONCRETE PAD DETAIL
NOT TO SCALE



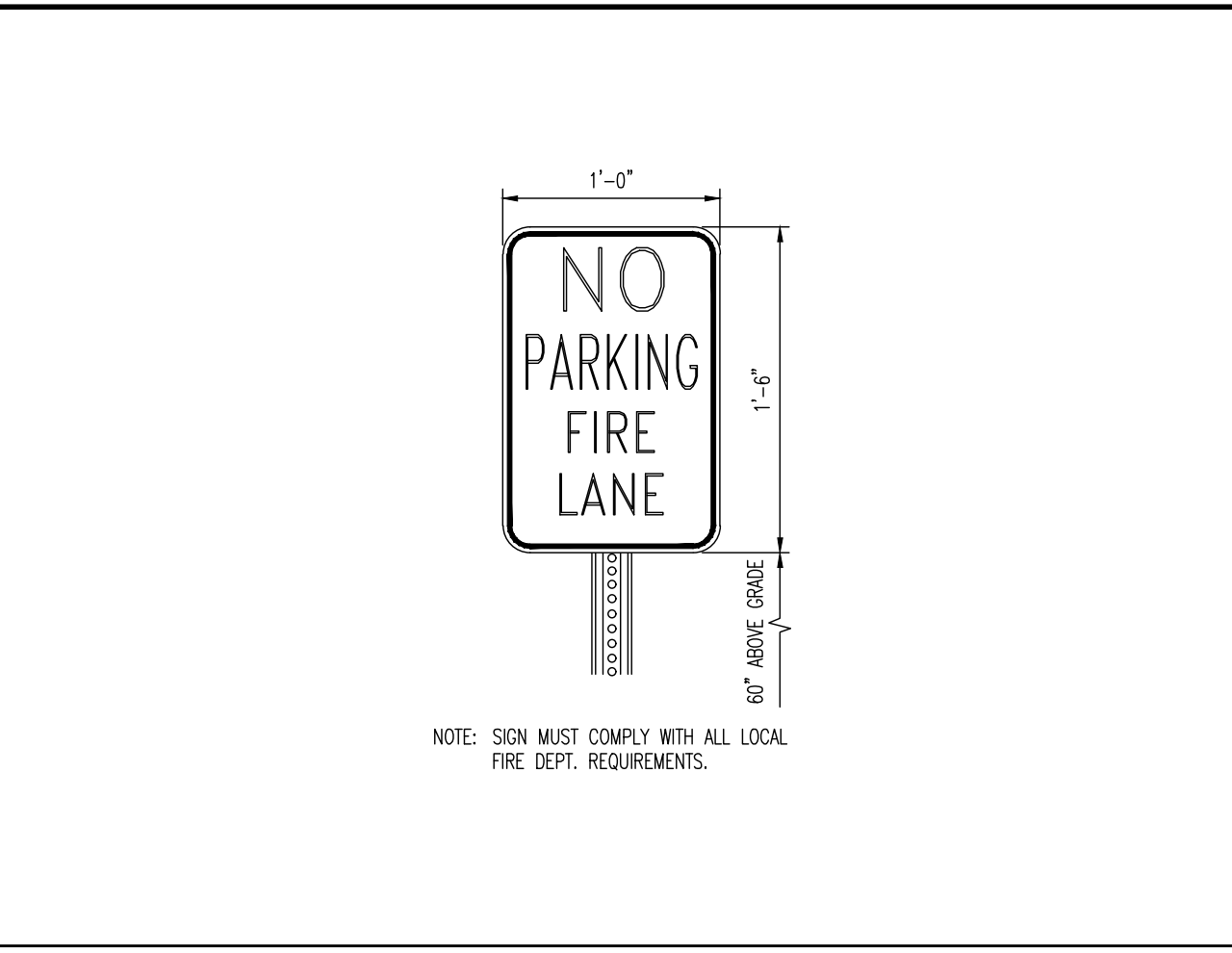
DEPRESSED CURB & CONCRETE APRON AT DRIVEWAY DETAIL
NOT TO SCALE



DEPRESSED CURB & CONCRETE APRON AT DRIVEWAY DETAIL
NOT TO SCALE

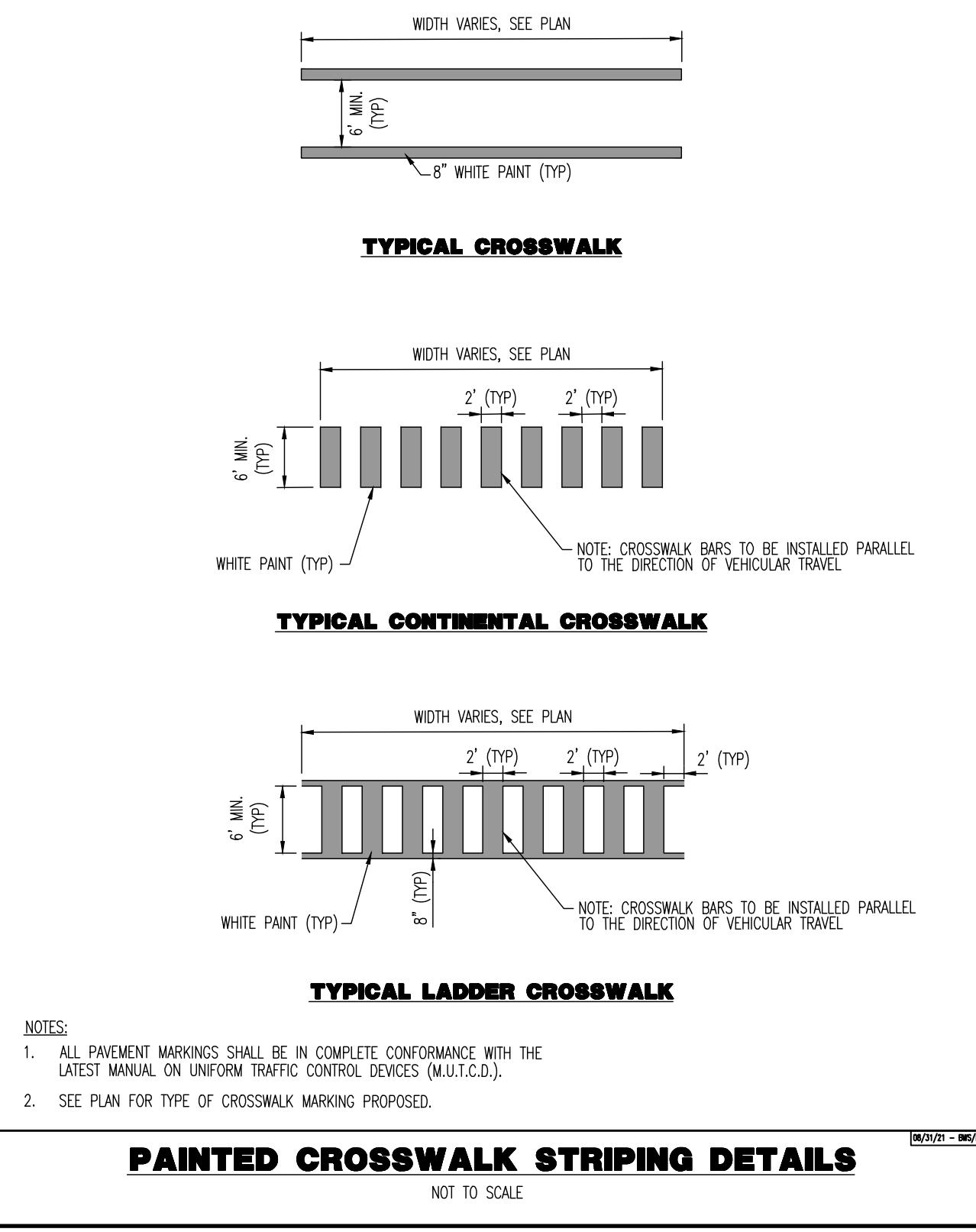


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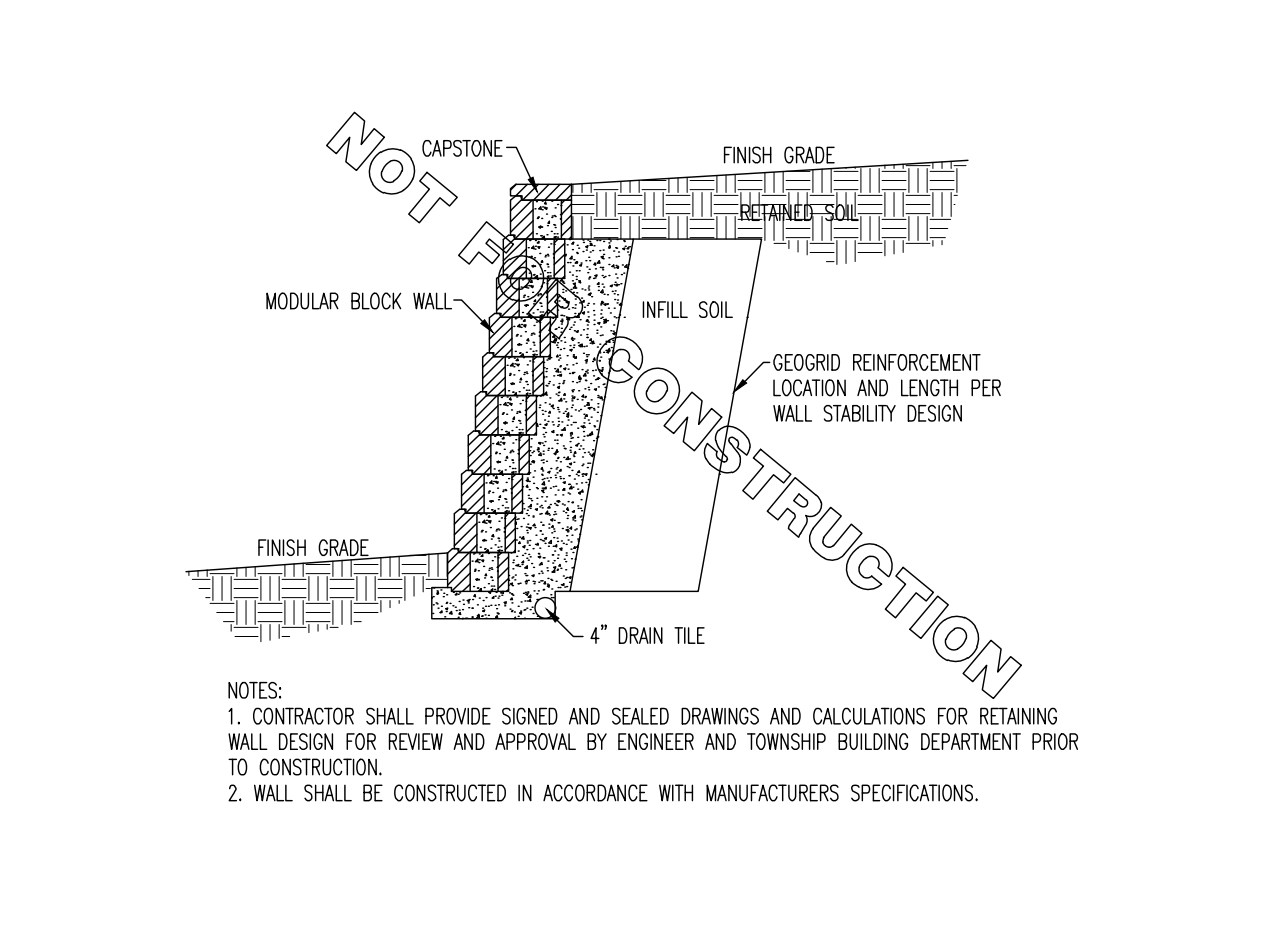
FIRE LANE SIGN DETAIL
NOT TO SCALE

GALVANIZED STEEL BEAM GUIDE RAIL DETAIL
NOT TO SCALE



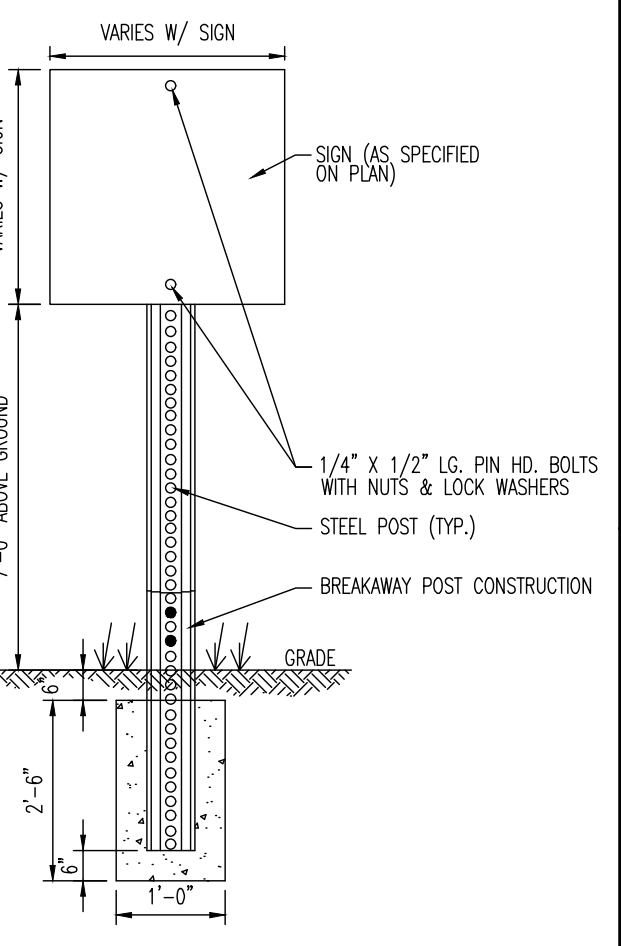
PAINTED CROSSWALK STRIPING DETAILS
NOT TO SCALE

TYPICAL MODULAR BLOCK WALL DETAIL
NOT TO SCALE



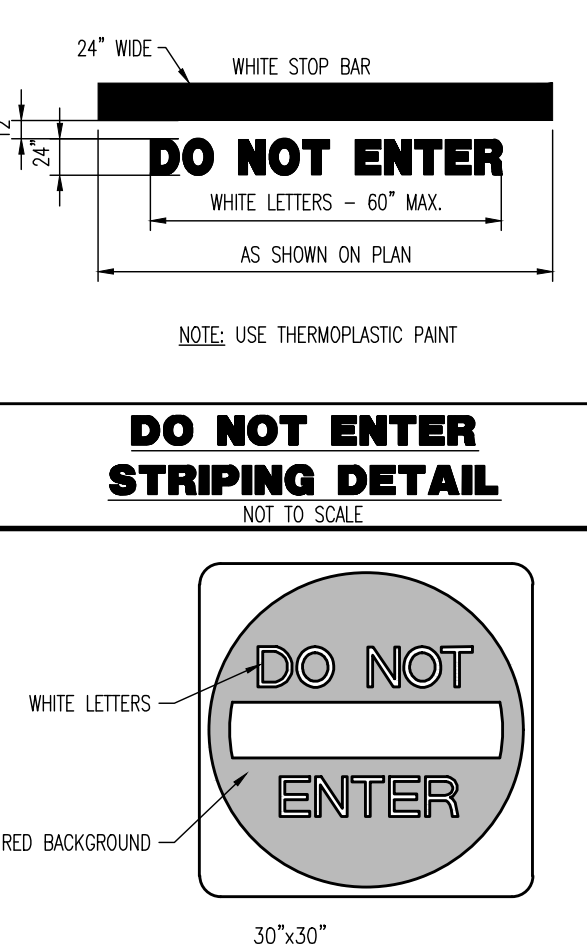
TYPICAL MODULAR BLOCK WALL DETAIL
NOT TO SCALE

SIGN POST & FOOTING DETAIL
NOT TO SCALE



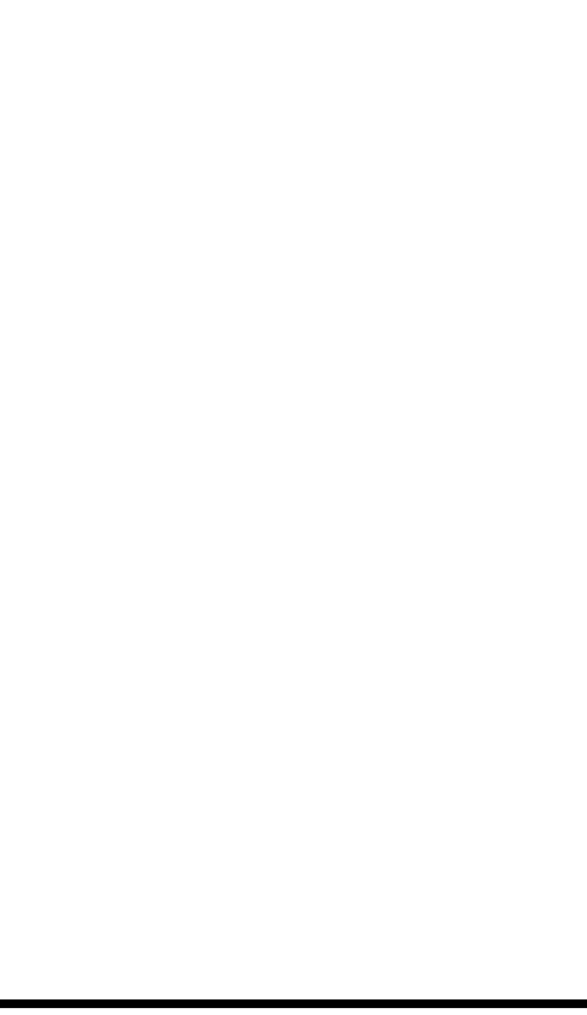
SIGN POST & FOOTING DETAIL
NOT TO SCALE

DO NOT ENTER STRIPING DETAIL
NOT TO SCALE



DO NOT ENTER STRIPING DETAIL
NOT TO SCALE

R5-1 SIGN DETAIL
NOT TO SCALE



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TITLE: **CONSTRUCTION DETAILS**

PROJECT: **INSITE DEVELOPMENT PARTNERS, LLC
PROPOSED 4-STORY SELF STORAGE FACILITY**

JOB No: 3041-99-010 DATE: 09/13/2022

BLOCK 119.00, LOT 1.01
US ROUTE 22 & WILSON AVENUE
BOROUGH OF NORTH PLAINFIELD, SOMERSET COUNTY, NEW JERSEY

DESIGNED BY: GMC SCALE: (H) AS (V) SHOWN
DRAWN BY: LPG SHEET No:
CHECKED BY: TJM
DESIGNED BY: TJM

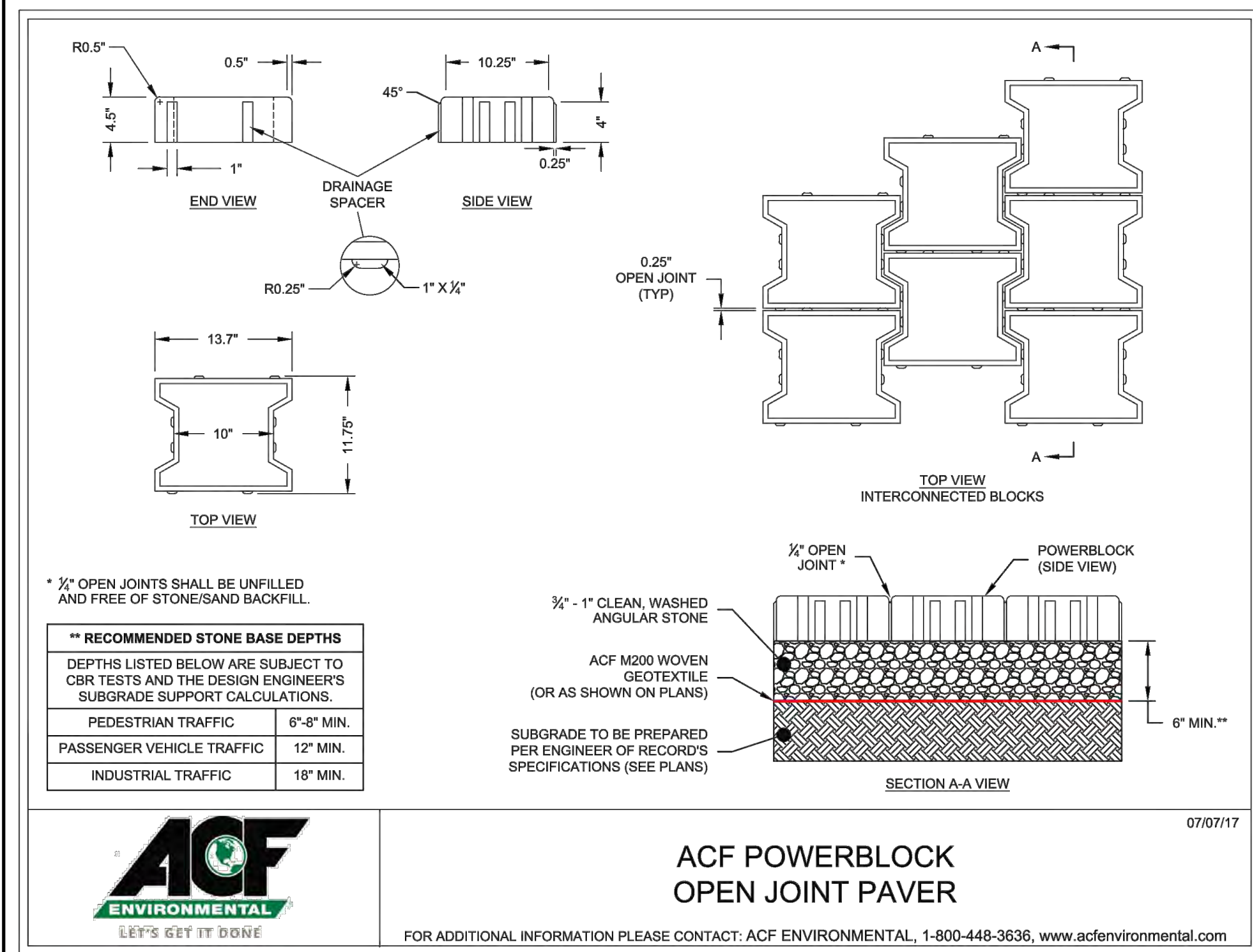
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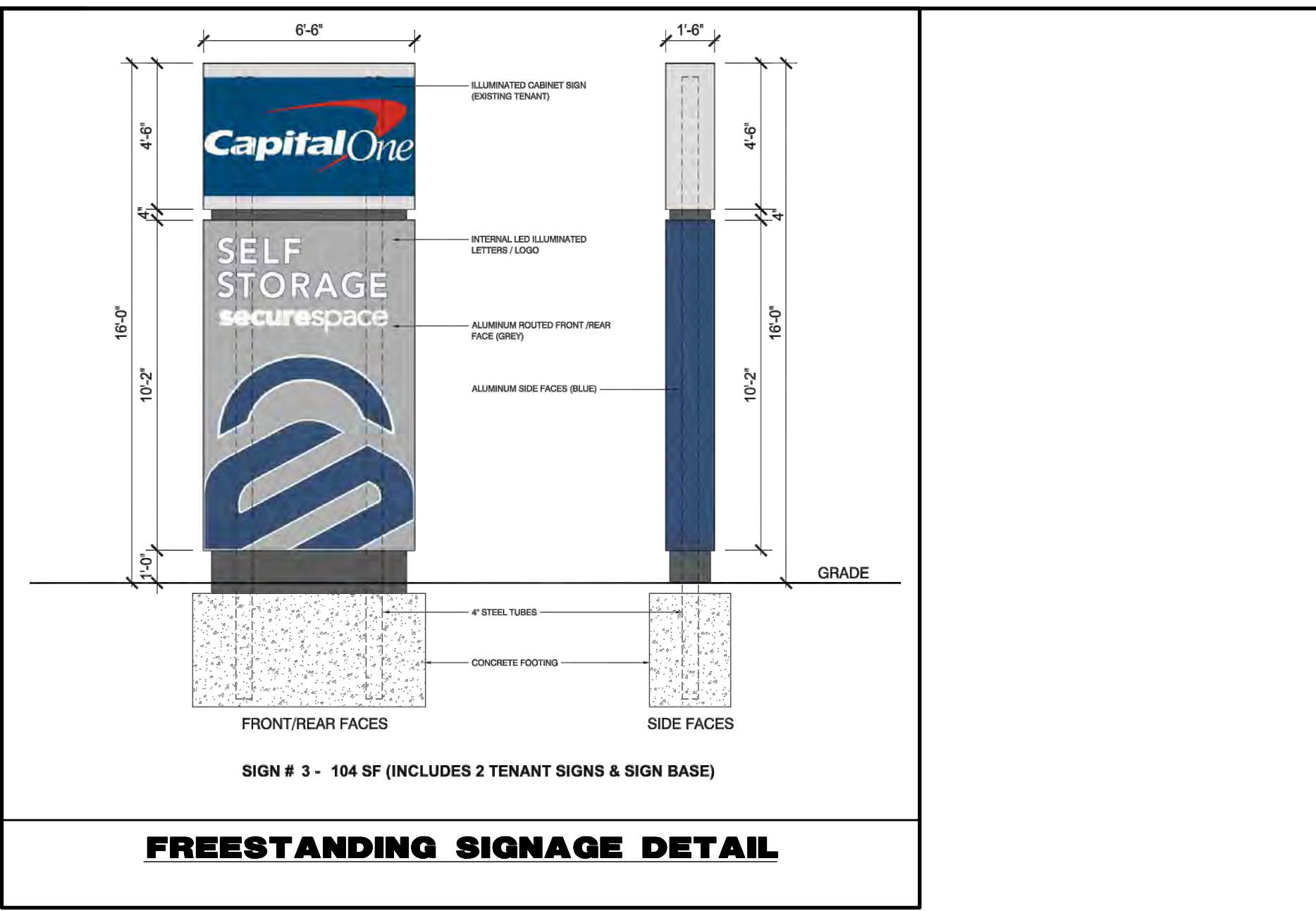
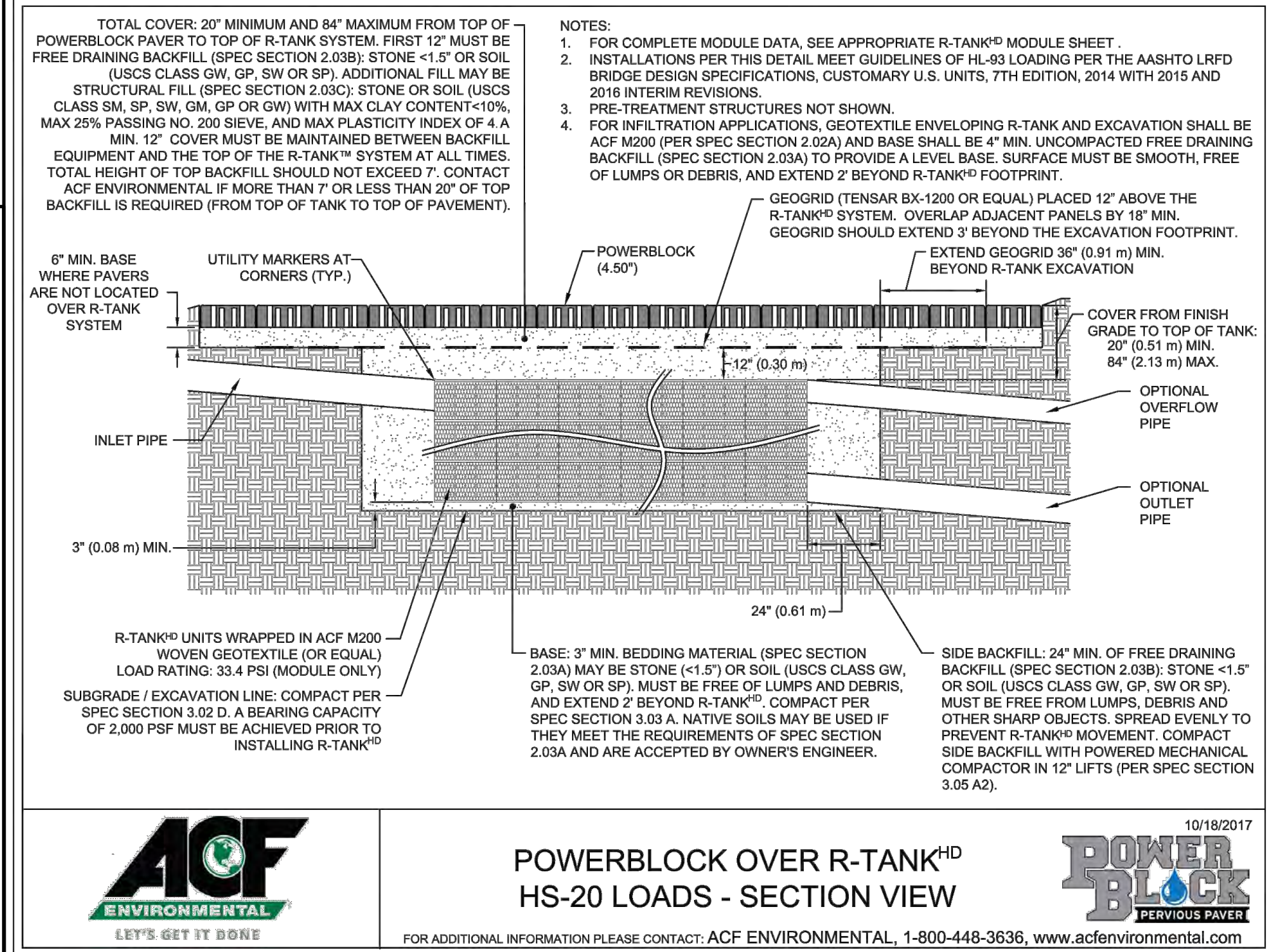
13
OF 20

Rev. # 0



ACF POWERBLOCK OPEN JOINT PAVER
FOR ADDITIONAL INFORMATION PLEASE CONTACT: ACF ENVIRONMENTAL, 1-800-448-3636, www.acfenvironmental.com

WALL MOUNTED SIGNAGE DETAIL
NOT TO SCALE



PERMEABLE PAVEMENT DETAIL
NOT TO SCALE

SIGNAGE TABLE

SIGN	REQUIREMENTS	PROPOSED
FREESTANDING	NUMBER OF SIGNS: ONE (1) [4] [12] MAXIMUM SIGN AREA: 130 SF SIGN HEIGHT: 30 FT MINIMUM SIGN SETBACK: 10 FT [5] [6] [7] [8]	NUMBER OF SIGNS: ONE (1) (ON LOT 1.03) SIGN AREA: 104 SF SIGN HEIGHT: 16 FT SIGN SETBACK: 2.4 FT (V)
BUILDING MOUNTED	NUMBER OF FACADE SIGNS: ONE (1) PER ENTRANCE [9] MAXIMUM FACADE SIGN AREA: - EAST FACADE: 268.33 LF x 1 SF = 268.33 SF - SOUTH FACADE: 65.83 LF x 1 SF = 65.83 SF MAX. PROJECTION: 9 IN	NUMBER OF SIGNS: TWO (2) SIGN AREA: - EAST FACADE: 150 SF - SOUTH FACADE: 100 SF (V) PROJECTION: 9 IN

NOTES:
[1] NO OFF-SITE SIGN SHALL BE PERMITTED WITHIN 50 FEET OF THE RIGHT-OF-WAY OF ANY CONTROLLED ACCESS HIGHWAY (822-119.2.f).
[2] NO SIGNS, ILLUSTRATIONS OR SYMBOLS SHALL BE PLACED SO AS TO INTERFERE WITH THE OPENING OF AN EXISTING DOOR OF ANY BUILDING TO OBSTRUCT ANY WINDOW OPENING OF A ROOM IN A DWELLING, TO INTERFERE WITH THE USE OF ANY FIRE ESCAPE OR TO CREATE A HAZARD TO PEDESTRIANS (822-119.2.g.4).
[3] ANY SIGN MAY BE ILLUMINATED BY A STATIONARY LIGHT SOURCE WHICH MAY BE LOCATED INSIDE OR OUTSIDE OF THE SIGN (822-119.2.g.1).
[4] NO FREESTANDING SIGN SHALL BE PERMITTED ON ANY LOT THAT HAS A STREET FRONTAGE OF LESS THAN 100 FEET (822-119.6.b.2(1)).
[5] FOR PROPERTIES WITH FRONTAGE ON ROUTE 22, NO PART OF ANY FREESTANDING SIGN SHALL BE LOCATED NEARER TO THE STREET RIGHT-OF-WAY THAN A STRAIGHT LINE WHICH CONNECTS THE POINT OF INTERSECTION OF THE FRONT LOT LINE AND A POINT ON THE EASTERLY SIDE LOT LINE - LOCATED 20 FEET MEASURED PERPENDICULAR FROM THE FRONT LINE (822-119.6.b.2(1)).
[6] FOR A CORNER LOT, NO PART OF ANY FREESTANDING SIGN SHALL BE LOCATED NEARER THAN 15 FEET TO THE STREET RIGHT-OF-WAY OF ANY STREET OTHER THAN ROUTE 22 (822-119.6.b.2(4)).
[7] FREESTANDING SIGNS SHALL BE SET BACK AT LEAST 10 FEET FROM ANY SIDE OR REAR PROPERTY LINE (822-119.6.b.2(c)).
[8] FREESTANDING SIGNS SHALL BE SET BACK AT LEAST 40 FEET FROM ANY RESIDENTIAL ZONE DISTRICT BOUNDARY LINE (822-119.6.b.2(d)).
[9] EACH BUSINESS IS PERMITTED ONE ON-SITE WALL SIGN FOR EACH ENTRANCE OPEN TO THE PUBLIC, PROVIDED THAT ONLY ONE WALL SIGN PER BUSINESS IS PERMITTED ON A WALL AND FURTHER PROVIDED THAT NO MORE THAN FOUR WALL SIGNS PER BUSINESS SHALL BE PERMITTED ON A BUILDING. WALL SIGNS MAY BE ATTACHED FLAT AGAINST THE WALL, ON AN ANNEX OR CANOPY, OR MAY BE PROJECTING SIGNS (822-119.6.c.1).
[10] THE DISPLAY SURFACE AREA SHALL NOT EXCEED ONE SQUARE FOOT FOR EACH LINEAR FOOT OF WALL LENGTH UPON WHICH THE SIGN IS ATTACHED, UP TO A MAXIMUM DISPLAY SURFACE AREA OF 150 SF (822-119.6.c.2).
[11] ONLY ONE DIMENSION OF A WALL SIGN, EITHER VERTICAL OR HORIZONTAL, IS PERMITTED TO EXCEED TWO FEET (822-119.6.c.3).
[12] THE DISPLAY SURFACE AREA SHALL NOT EXCEED 130 SQUARE FEET FOR SIGNS WITH UP TO TWO OCCUPANTS, BUSINESSES OR OTHER USERS IDENTIFIED ON THE SIGN PLUS 30 SQUARE FEET FOR EACH ADDITIONAL (L.E.D.) BEYOND THE FIRST TWO OCCUPANT, BUSINESS OR OTHER USER IDENTIFIED ON THE SIGN, PROVIDED THAT NO FREESTANDING JOINT IDENTIFICATION SIGN SHALL HAVE A DISPLAY SURFACE AREA THAT EXCEEDS 300 SQUARE FEET (822-119.6.b.4(6)).

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CONSTRUCTION DETAILS

PROJECT: **INSITE DEVELOPMENT PARTNERS, LLC**
PROPOSED 4-STORY SELF STORAGE FACILITY

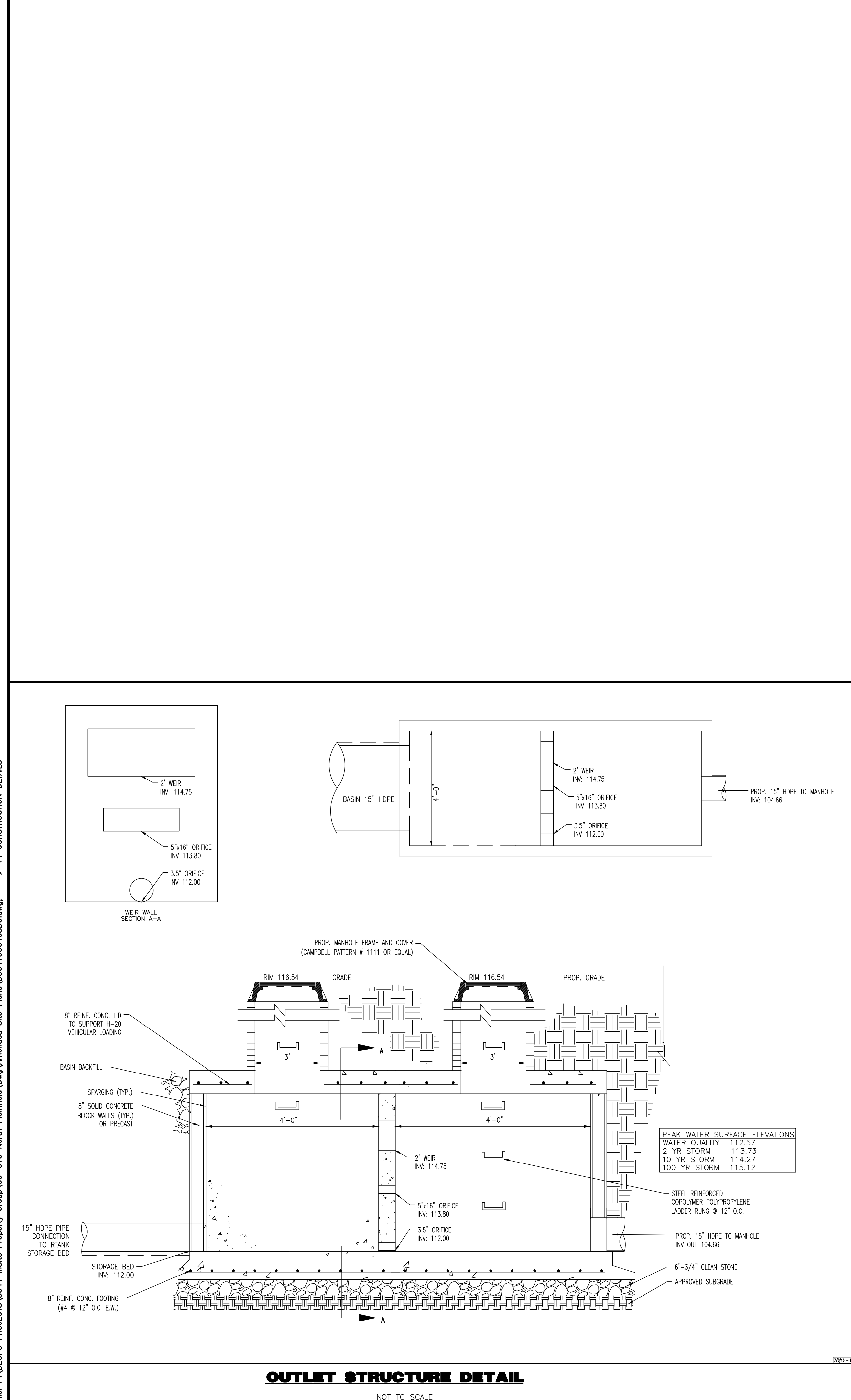
TITLE: _____

DESIGNED BY: GMC
CHECKED BY: TJM

THOMAS J. MULLER
PROFESSIONAL ENGINEER
NEW JERSEY LICENSE No. 52179

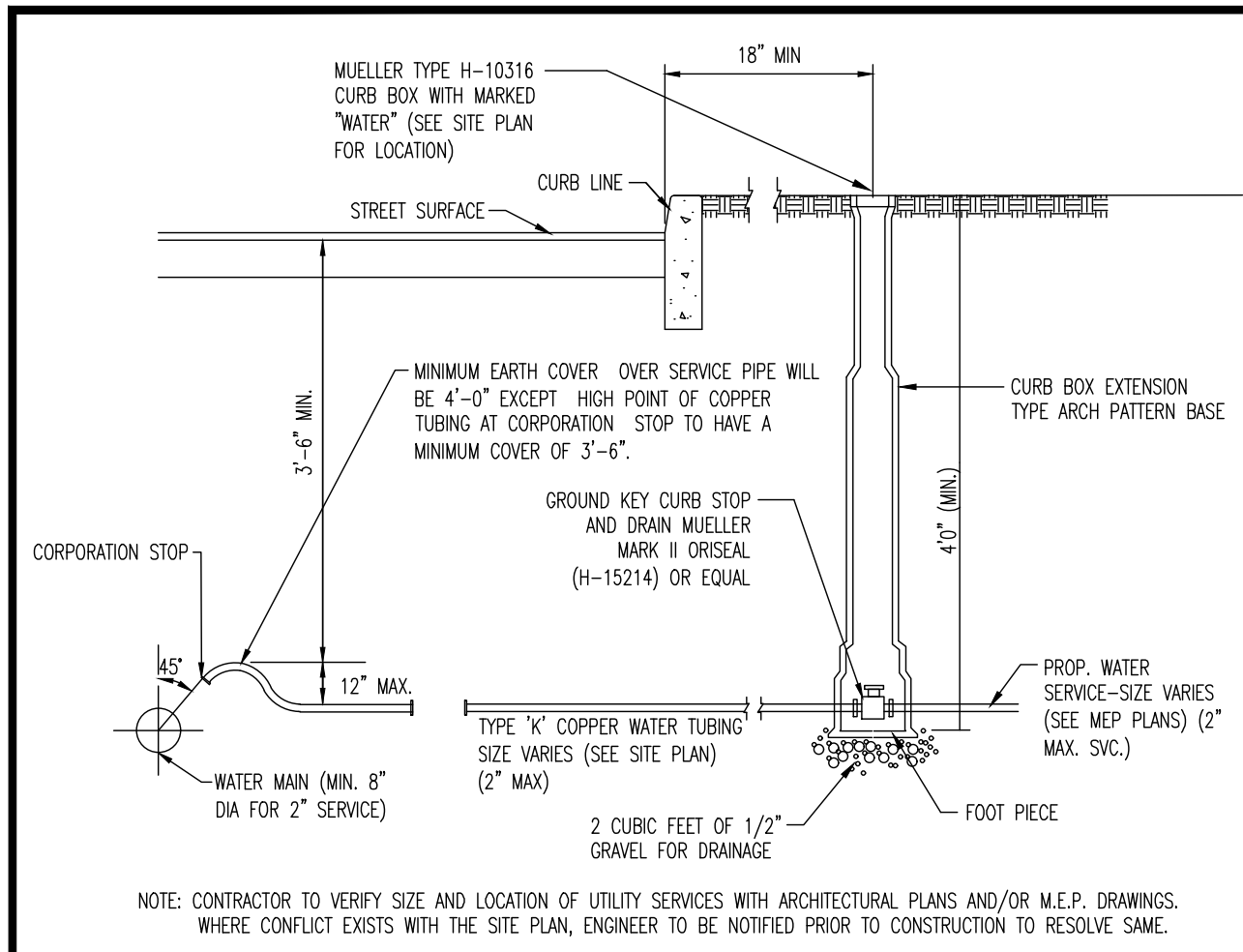
JOHN A. PALUS
PROFESSIONAL ENGINEER
NEW JERSEY LICENSE No. 41975

14 OF 20



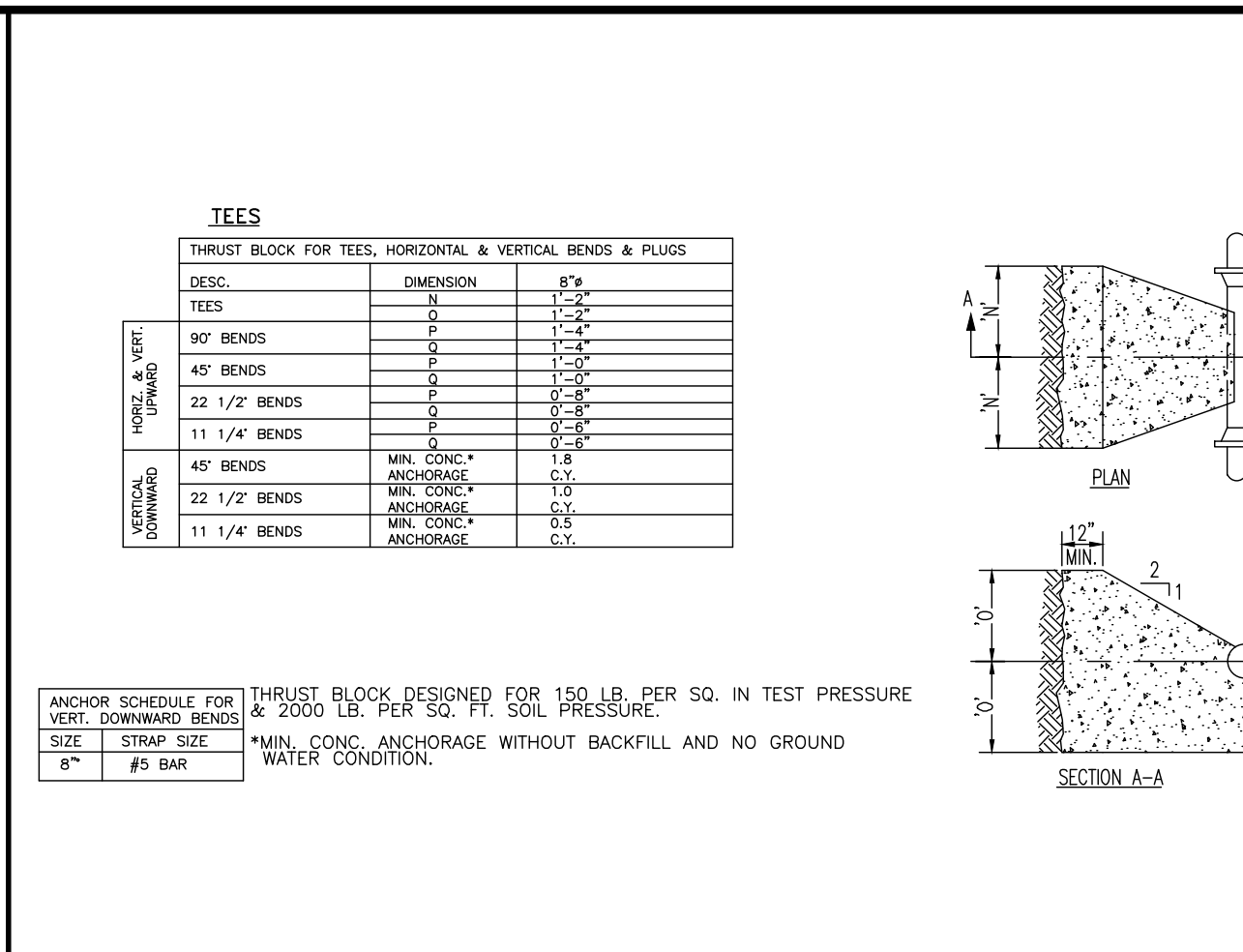
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By: gowardick
File: P:\VEPC PROJECTS\3041

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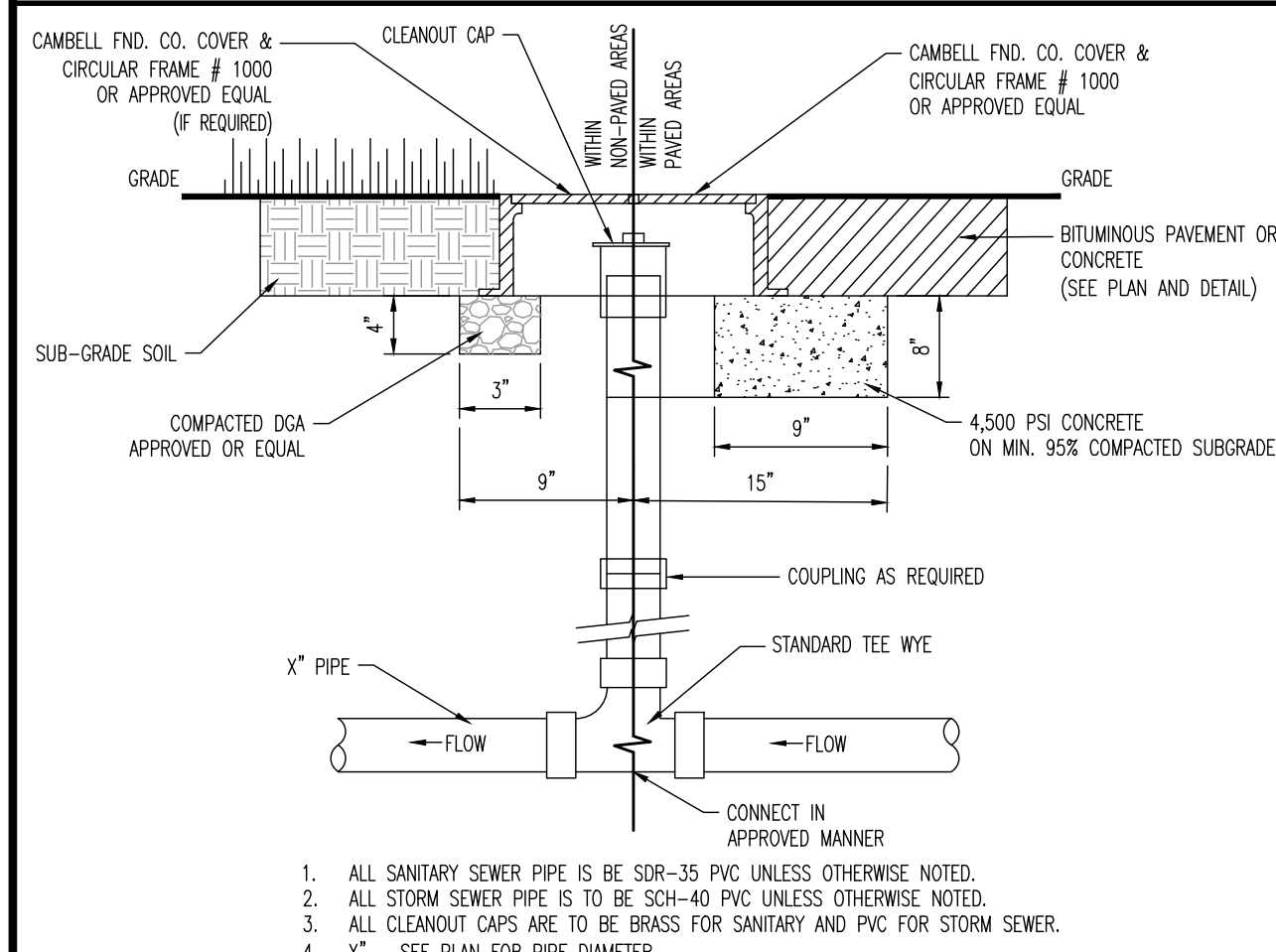
WATER SERVICE CONNECTION

NOT TO SCALE



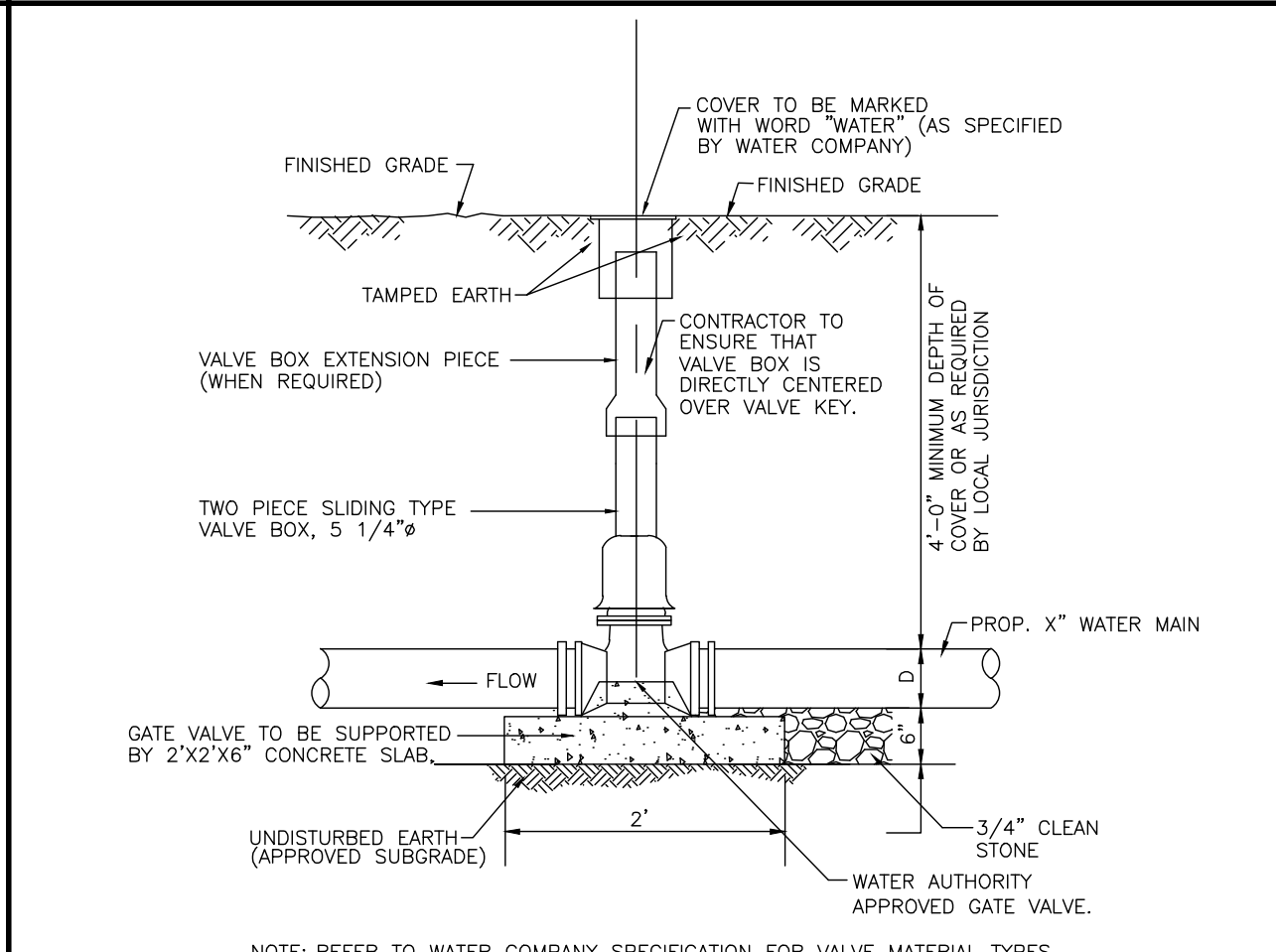
THRUST BLOCK DETAILS

NOT TO SCALE



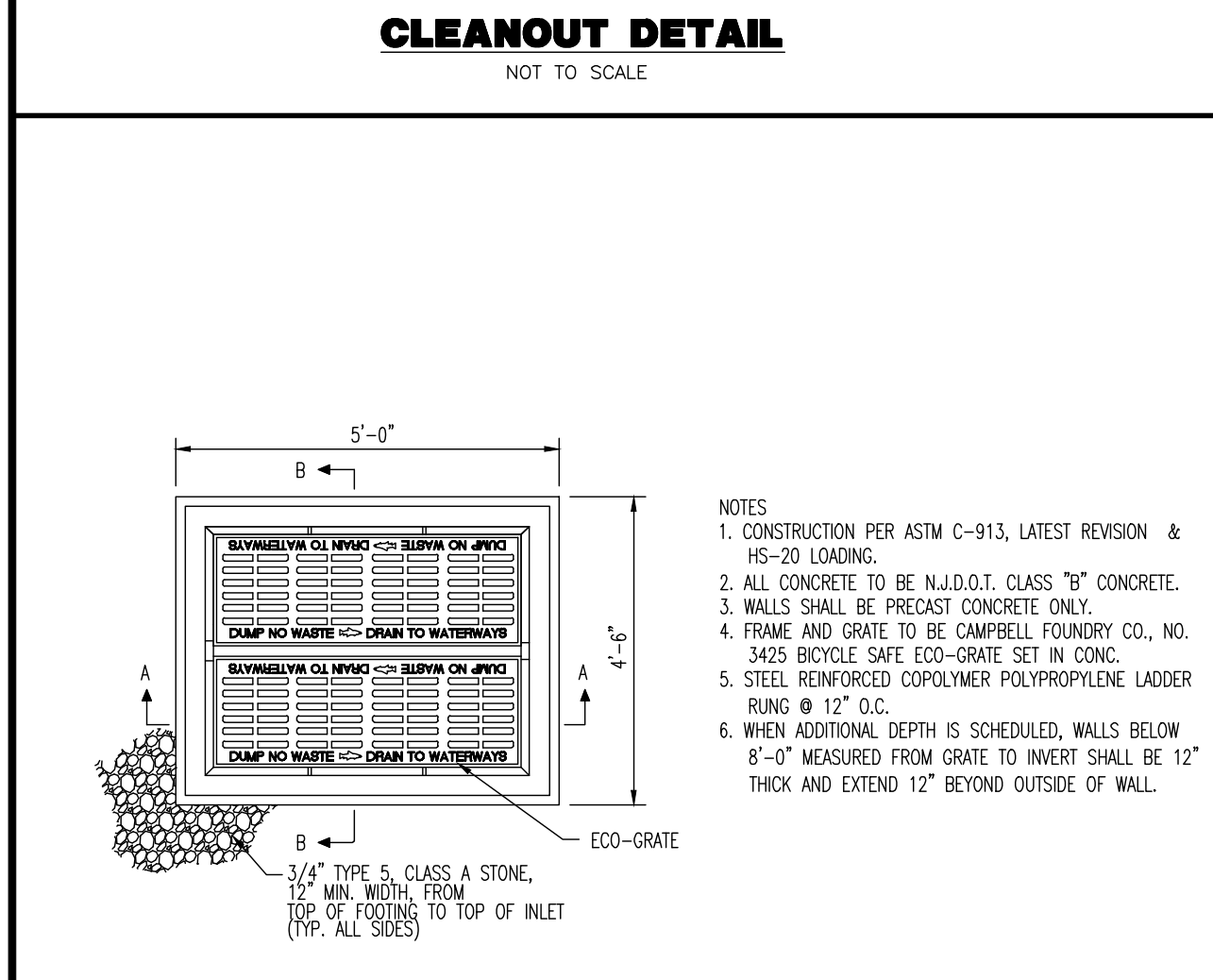
CLEANOUT DETAIL

NOT TO SCALE



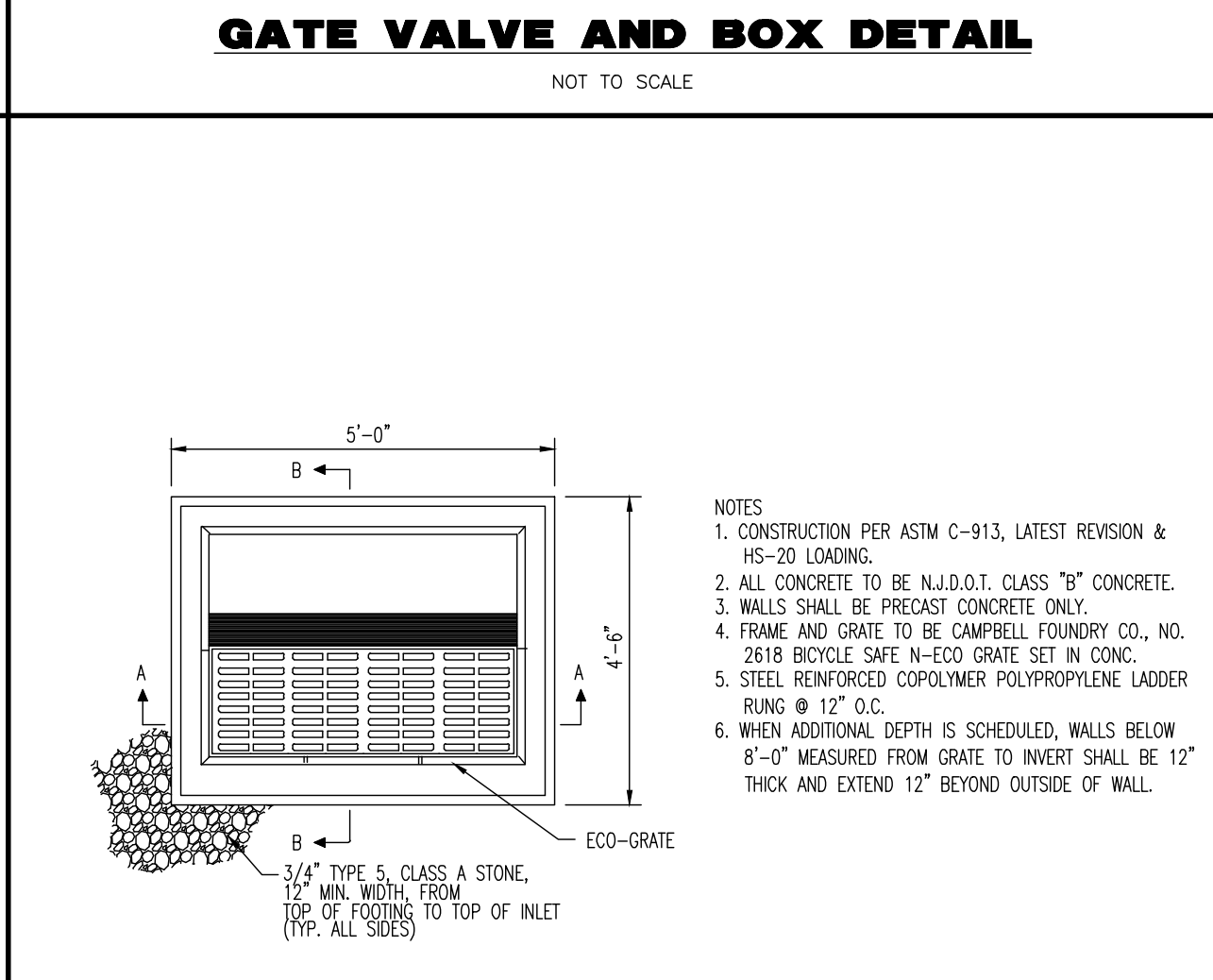
GATE VALVE AND BOX DETAIL

NOT TO SCALE



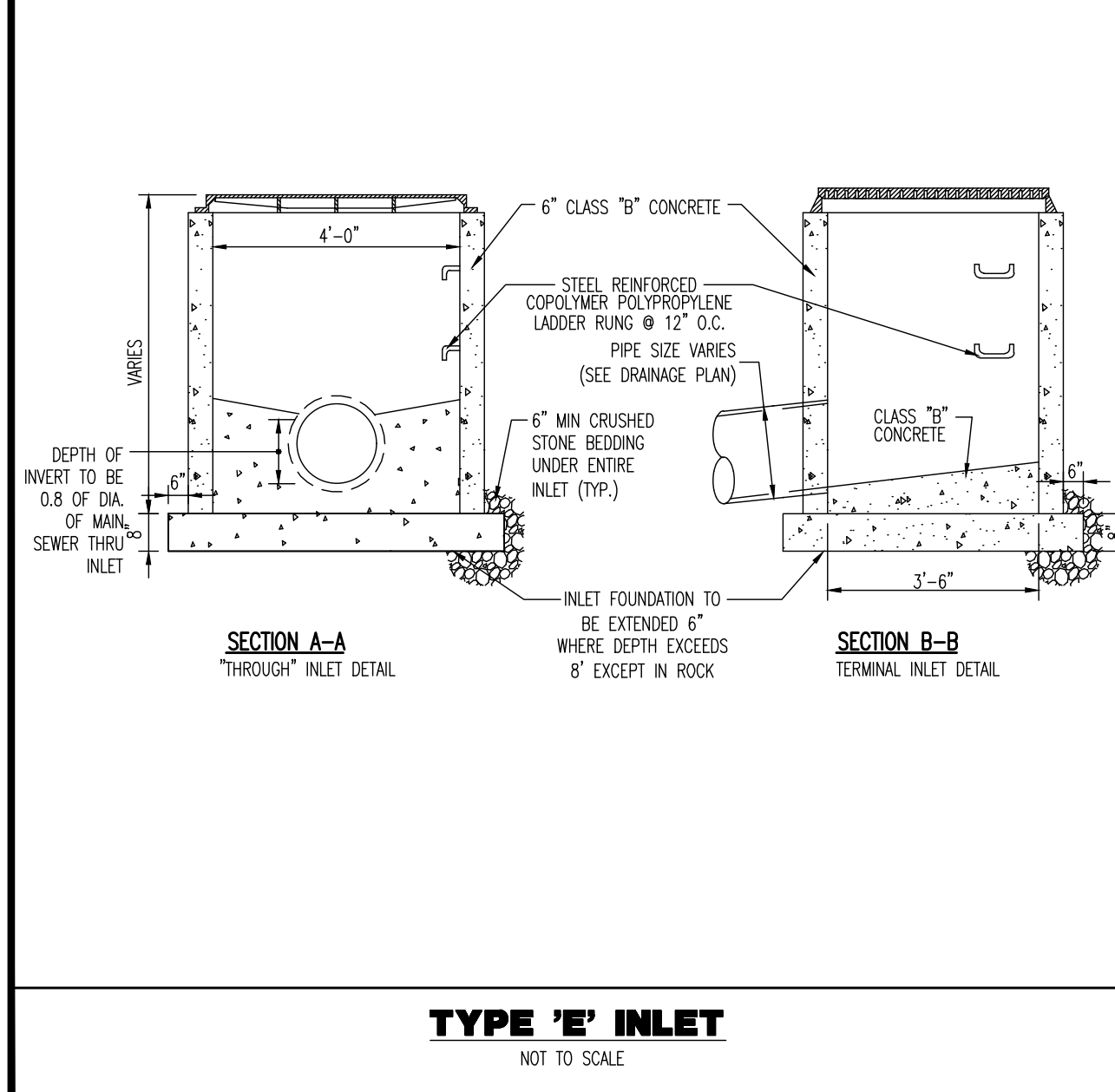
TYPE 'E' INLET

NOT TO SCALE



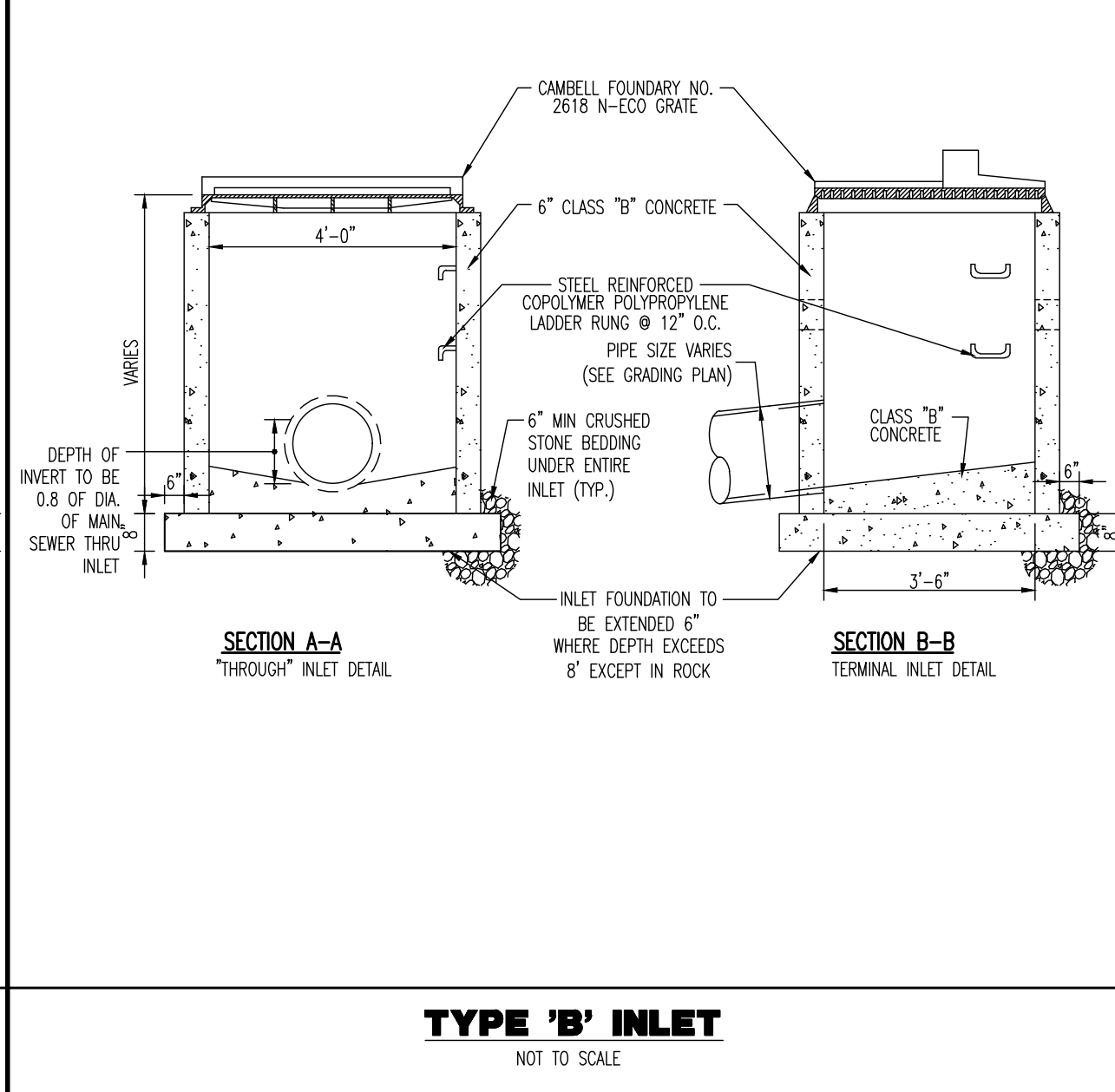
TYPE 'B' INLET

NOT TO SCALE



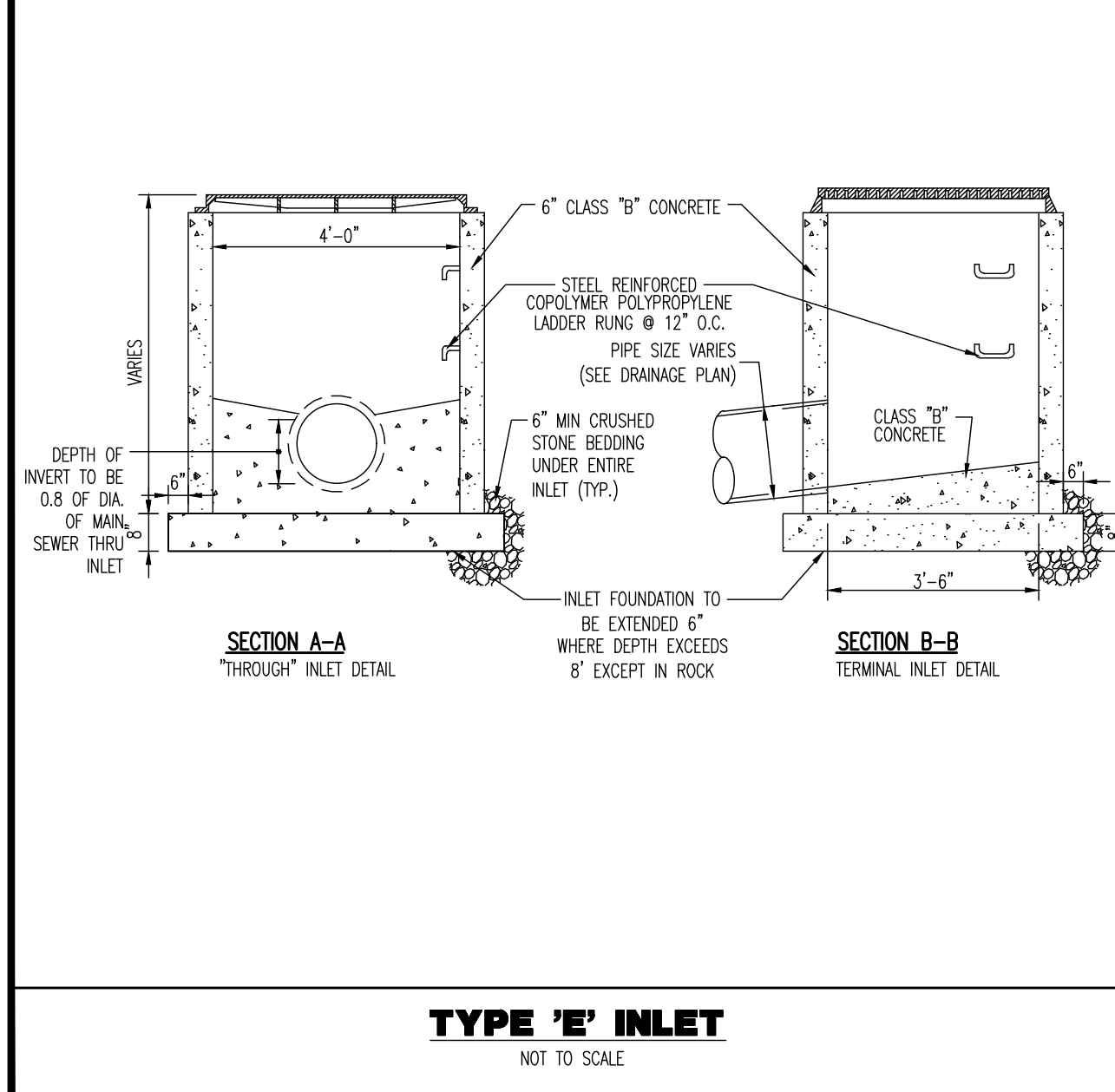
LADDER RUNG DETAIL

NOT TO SCALE



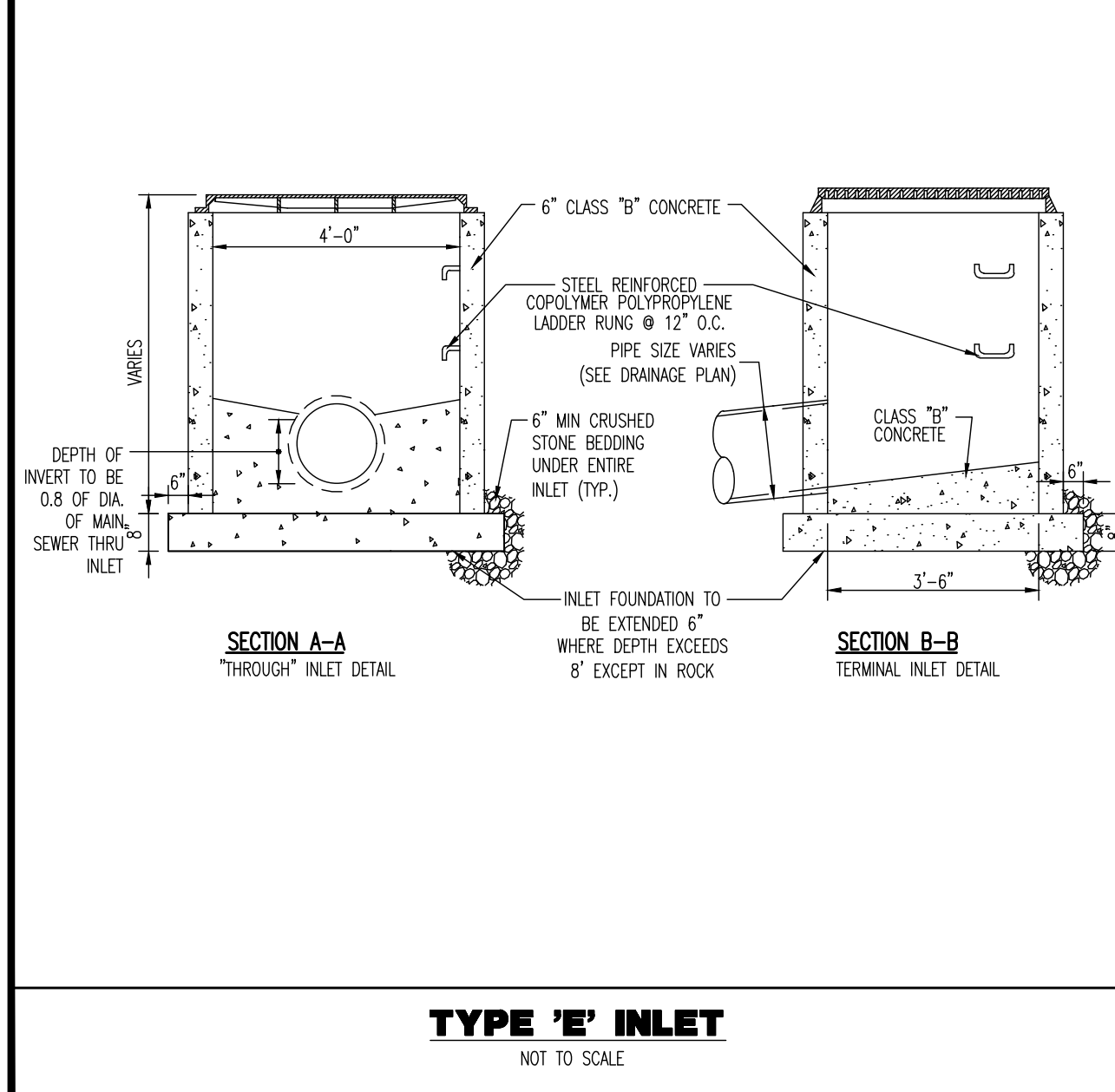
STORM MANHOLE FRAME DETAIL

NOT TO SCALE



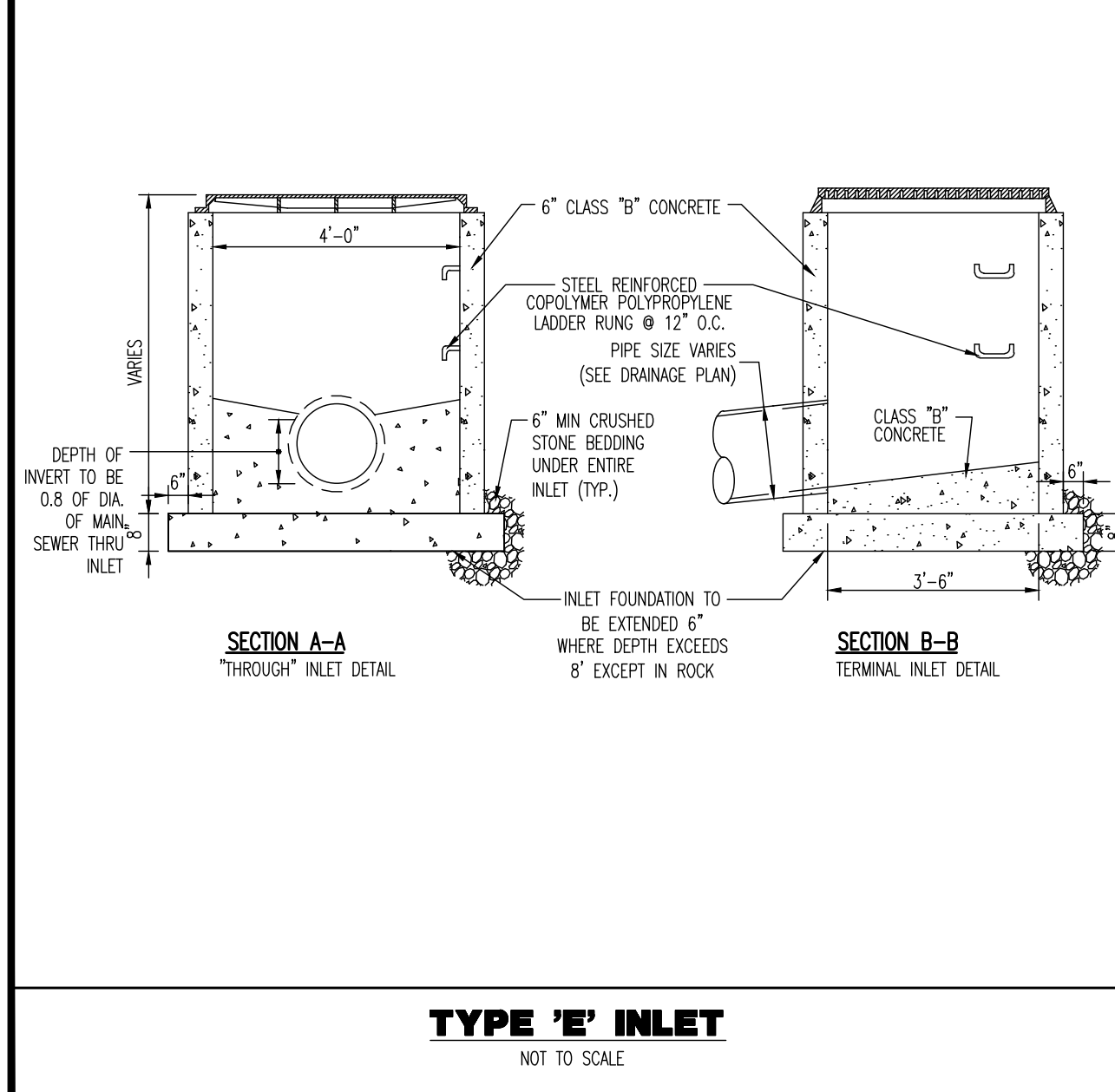
TYPICAL PRECAST STORM MANHOLE

NOT TO SCALE



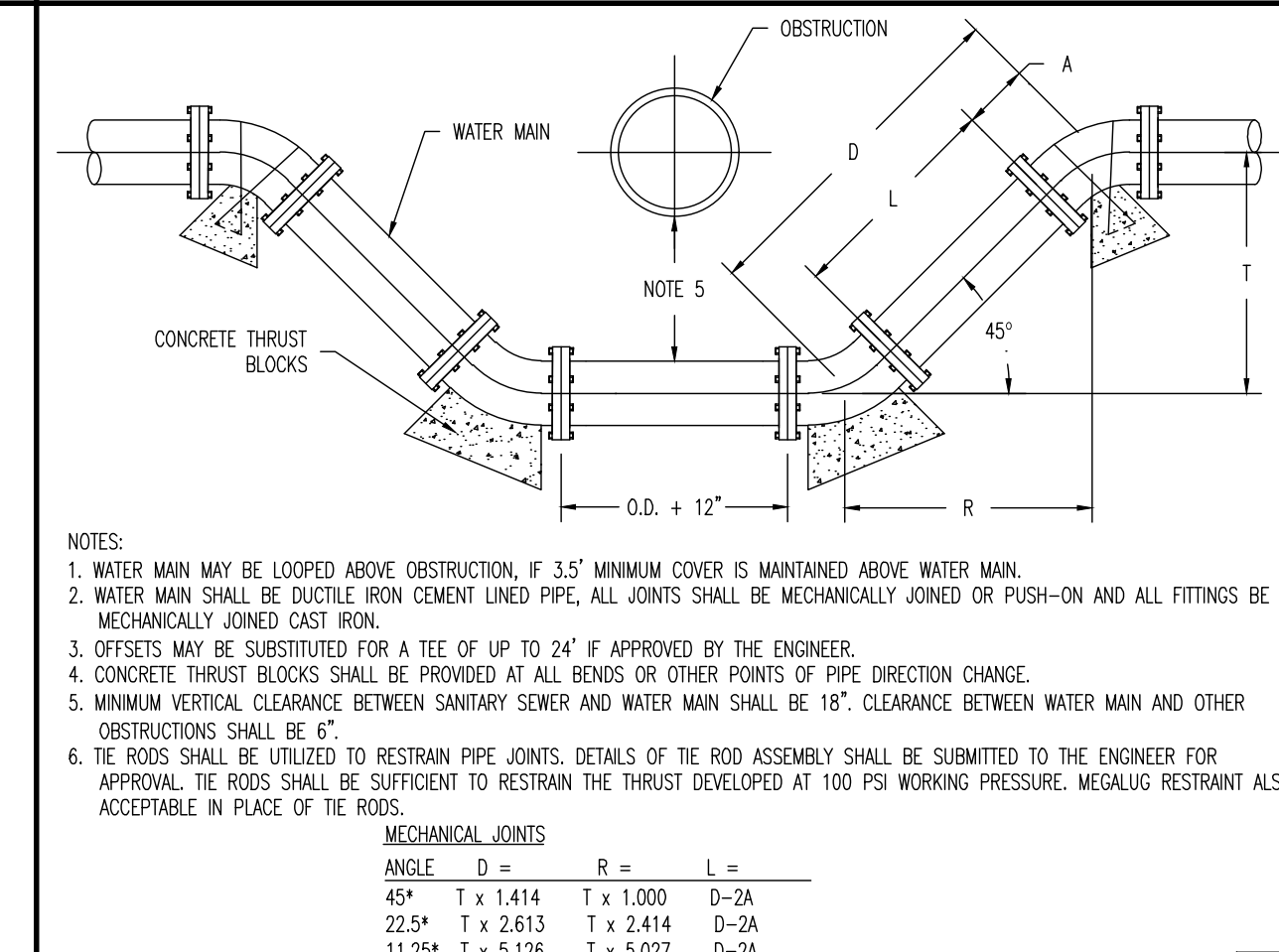
ROOF DRAIN WITH TEE, OVERFLOW & SPLASH BLOCK DETAIL

NOT TO SCALE



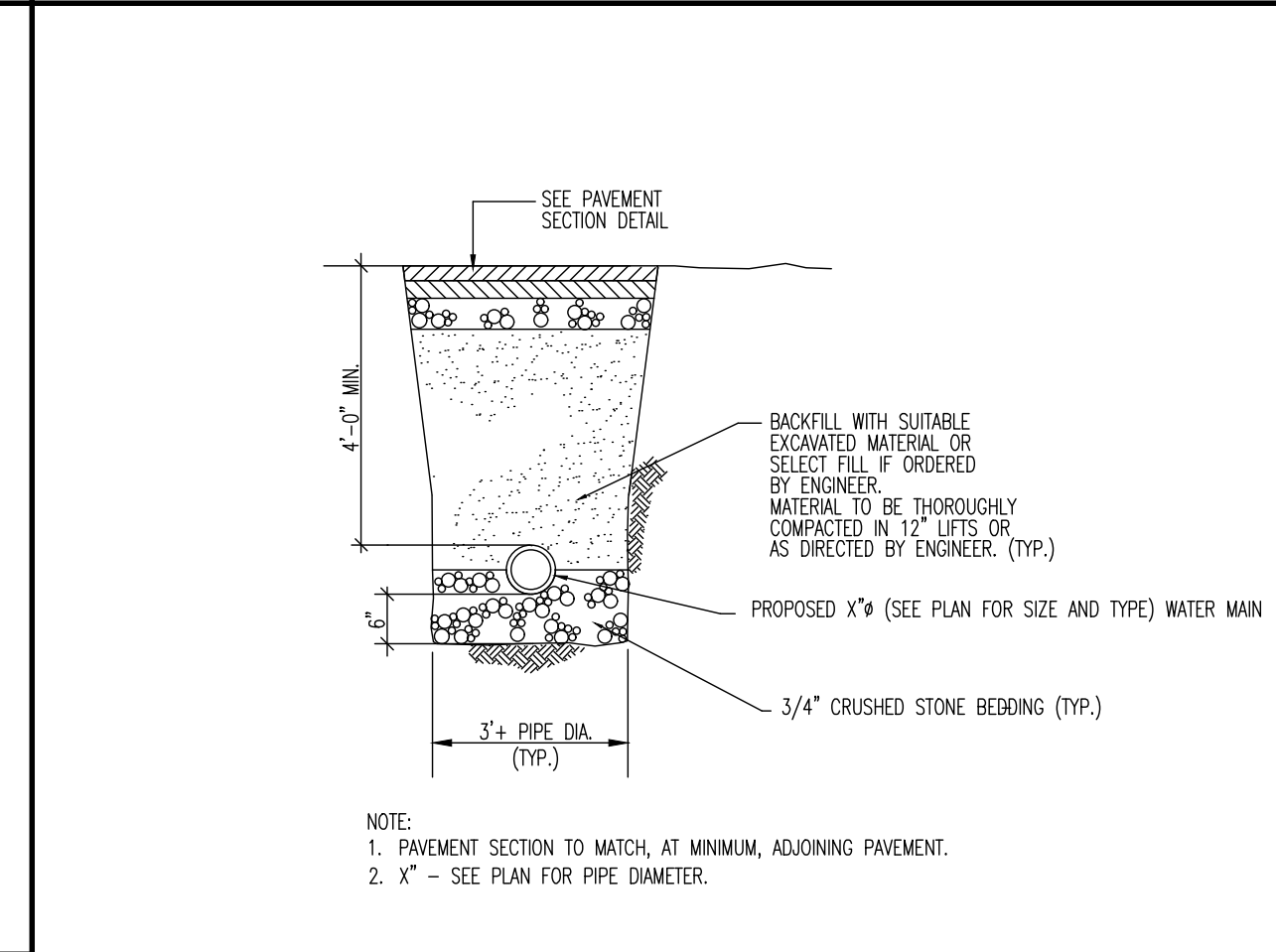
STORM SEWER TRENCH DETAIL

NOT TO SCALE



TYPICAL HYDRANT & VALVE INSTALLATION

NOT TO SCALE

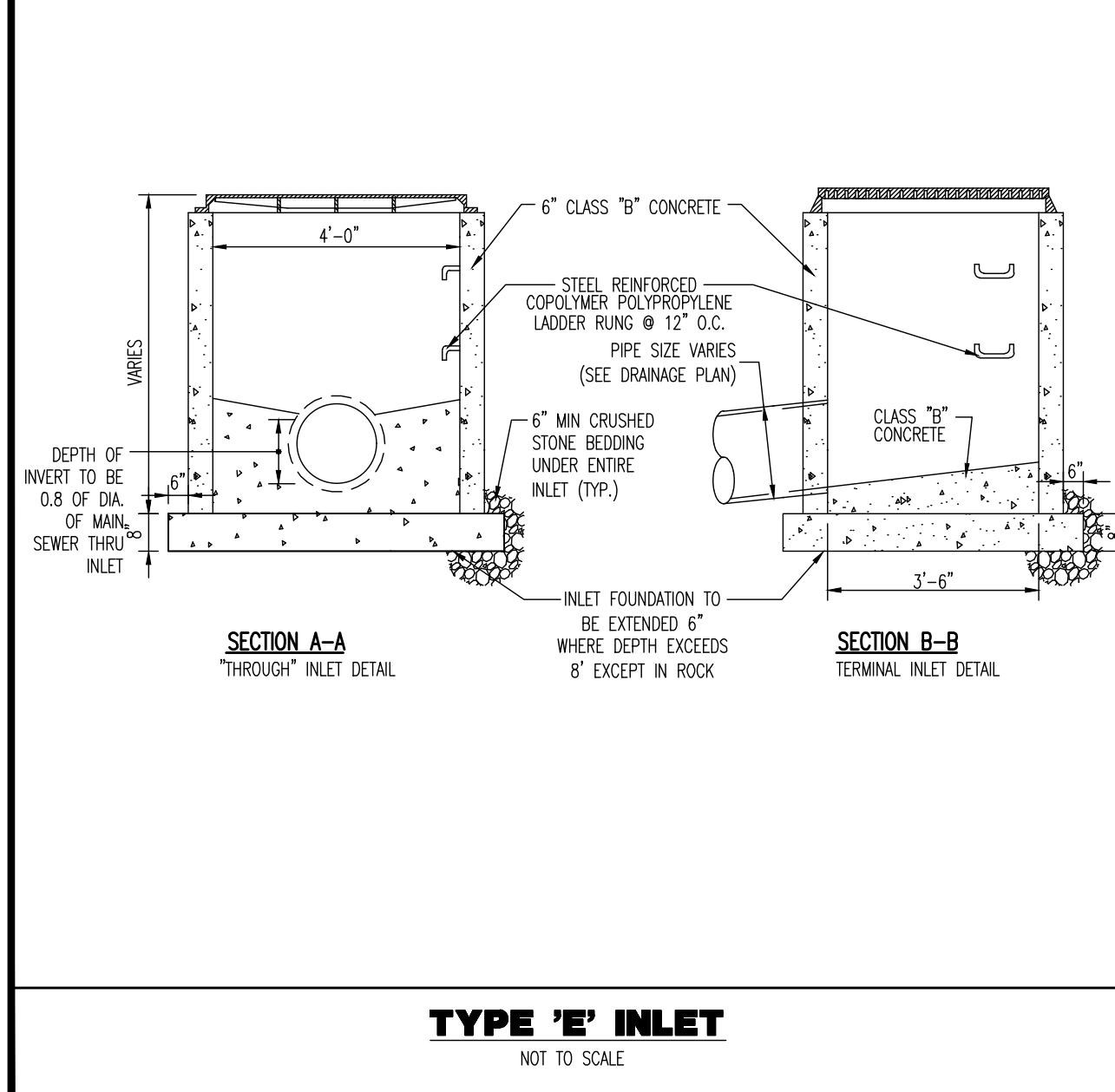


UTILITY SERVICE TRENCH DETAIL

NOT TO SCALE

WATER MAIN - UTILITY CROSSING DETAIL

NOT TO SCALE



WATER SERVICE TRENCH DETAIL

NOT TO SCALE

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Lake Como, NJ 07719
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F: 908-919-3521
www.dynamiceng.com

CONSTRUCTION DETAILS

TITLE: _____

PROJECT: **INSITE DEVELOPMENT PARTNERS, LLC PROPOSED 4-STORY SELF STORAGE FACILITY**

BLOCK #19.00, LOT 1.01
US ROUTE 22 & WILSON AVENUE
BOROUGH OF NORTH PLAINFIELD, SOMERSET COUNTY, NEW JERSEY

JOB NO: 3041-99-010
DATE: 09/13/2022

DRAWN BY: GMC
DESIGNED BY: LPG
CHECKED BY: TJM

SCALE: (H) AS SHOWN
SHEET NO: _____

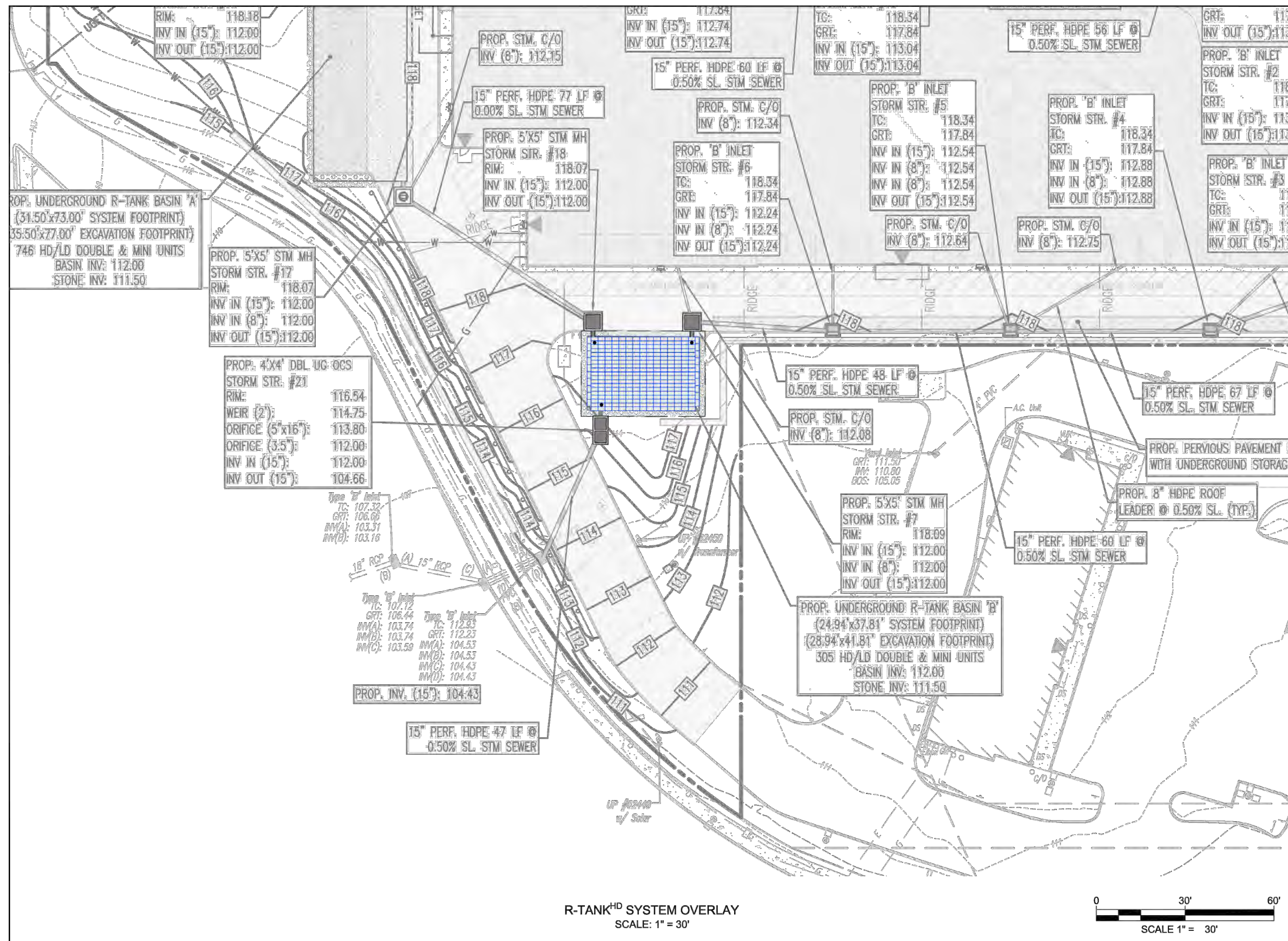
THOMAS J. MULLER
PROFESSIONAL ENGINEER
NEW JERSEY LICENSE NO. 52179

JOHN A. PALUS
PROFESSIONAL ENGINEER
NEW JERSEY LICENSE NO. 41975

811 PROTECT YOURSELF
ALL UTILITIES REQUIRE NOTIFICATION OF EXISTING UTILITIES. IF ANY UTILITY PREPARED TO OPERATE THE SERVICE OFFICE HOURS. 811 OR 24/7 FOR STATE-SPECIFIC DIRECT PHONE NUMBERS VISIT: WWW.CALL811.COM

15 OF 20

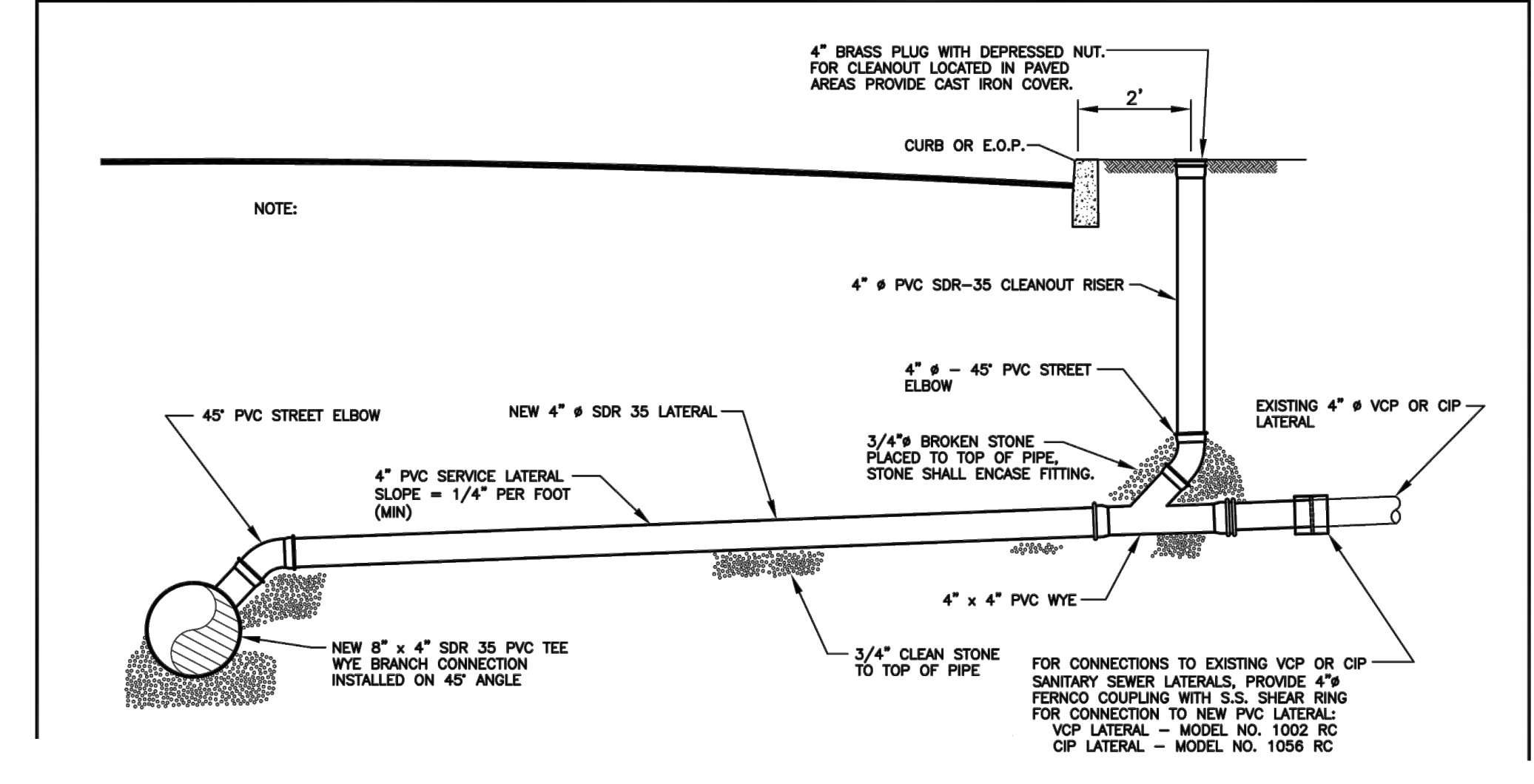
Rev. # 0



R-TANK^{HD} SYSTEM OVERLAY
INSITE PROPERTY GROUP SELF STORAGE FACILITY
NORTH PLAINFIELD, NJ
SITE DESIGNATION: SIDE PARKING

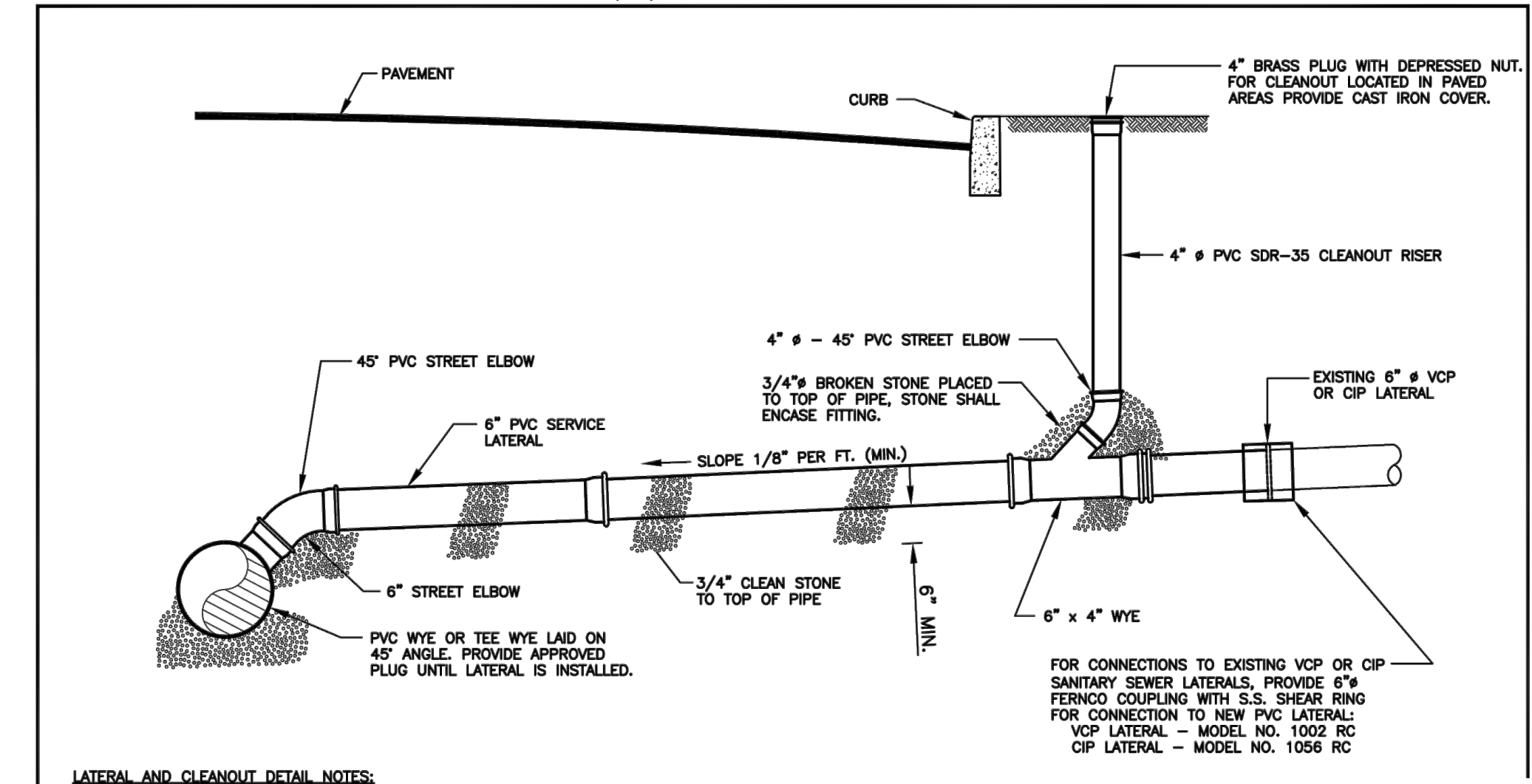
DATE: 10/28/21
SHEET NO: 1 of 2

SANITARY SEWER SERVICE LATERAL CONNECTION DETAIL.DWG 04/19/2016



DATE: 10/28/21
SHEET NO: 1 of 2

SANITARY SEWER SERVICE LATERAL CONNECTION DETAIL.DWG 04/26/2016



LATERAL AND CLEANOUT DETAIL NOTES:

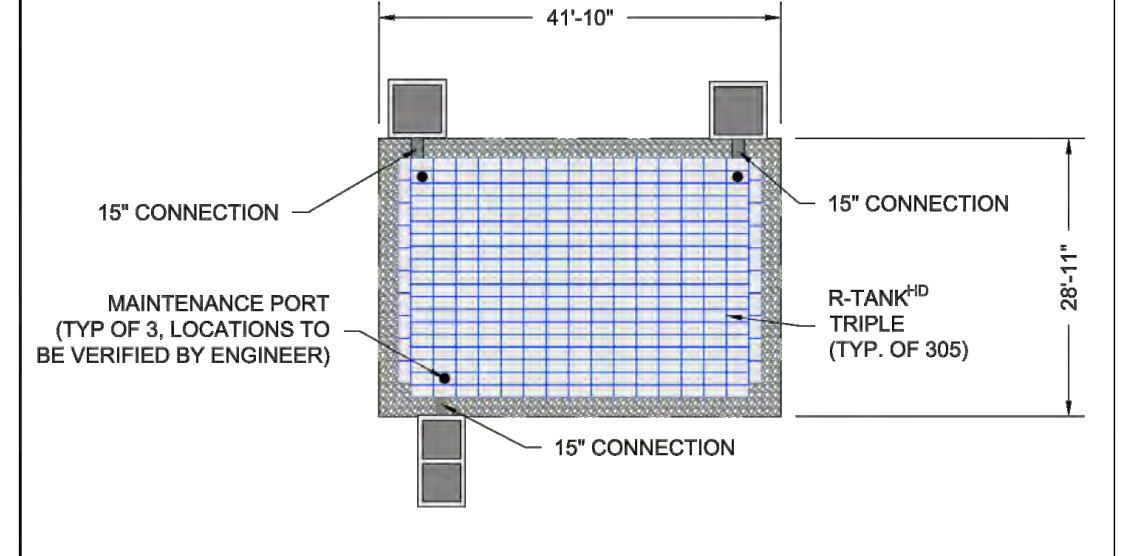
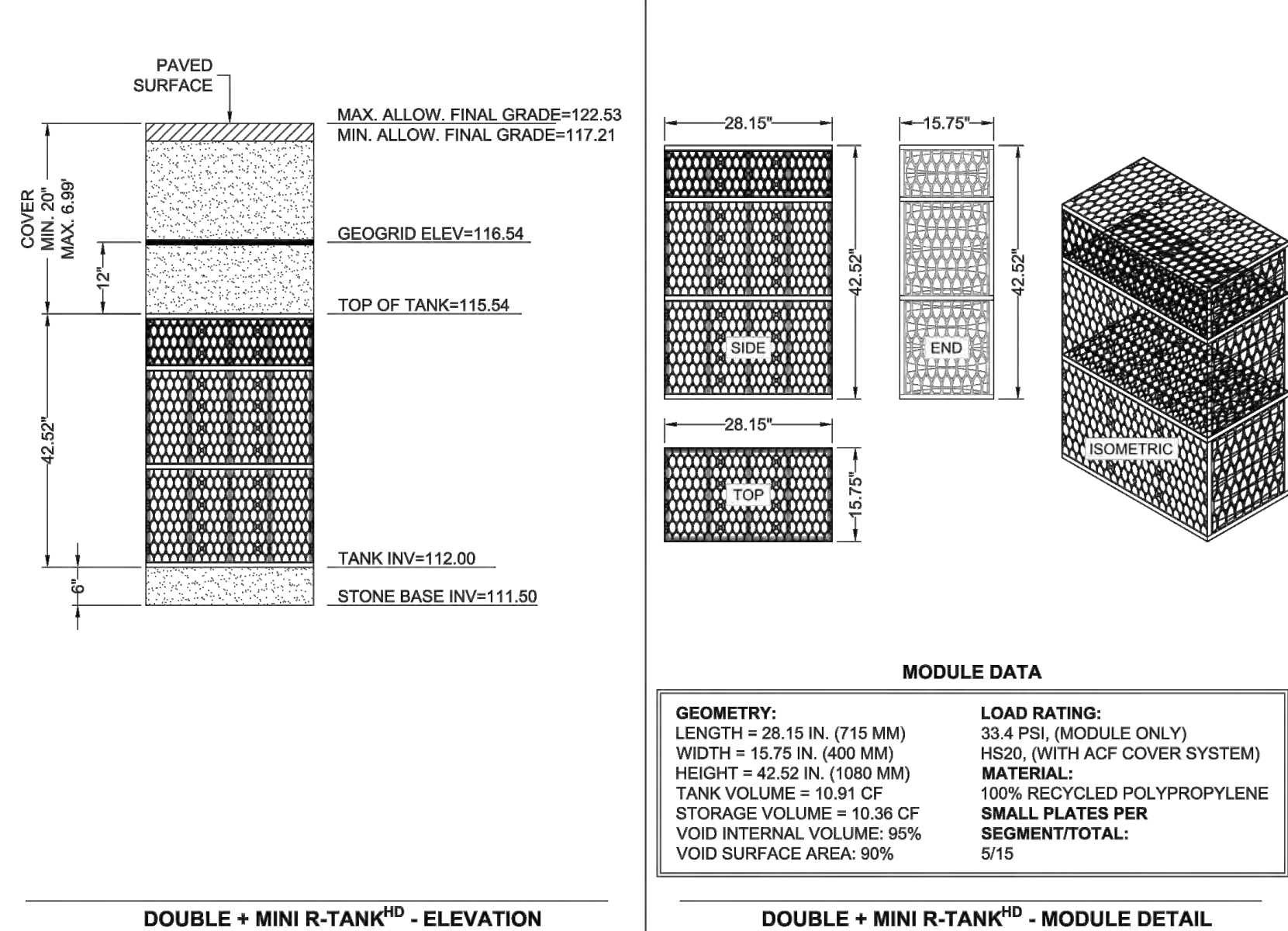
- SERVICE LATERAL RECONNECTION AND CLEAN OUT SHALL ONLY BE INSTALLED IF AND WHERE DIRECTED BY BOROUGH ENGINEER.
- THE CONTRACTOR SHALL CAREFULLY REMOVE ANY PRIVATELY OWNED OBJECTS SUCH AS FENCES, MAIL BOXES, ETC., PRIOR TO INSTALLING LATERAL AND SHALL REINSTALL ALL REMOVED OBJECTS AFTER THE LATERAL IS INSTALLED.
- IF SIDEWALKS ARE DISTURBED THE CONTRACTOR SHALL PROVIDE REPLACEMENT TEMPORARY DOA SIDEWALK.
- IF CURBING IS REMOVED BY THE CONTRACTOR, THEN CONTRACTOR SHALL PROVIDE TEMPORARY 6" DIA/BASE 4" HIGH 19M44 BASE COURSE.
- ALL EXISTING CURBING SHALL BE REMOVED AT A JOINT OR SAW-CUT TO PERMIT INSTALLATION OF LATERAL PIPING.

DATE: 10/28/21
SHEET NO: 1 of 2

R-TANK^{HD} QUANTITIES

R-TANK ^{HD} MODULE TYPE	DOUBLE + MINI
# OF DOUBLE + MINI R-TANKS	305
TOTAL SYSTEM STORAGE	3,160 CF
R-TANK STORAGE VOLUME	3,160 CF
STONE BED FOOTPRINT	1,210 SF
STONE QUANTITY	102 CY
8 OZ. NON-WOVEN GEOTEXTILE TANK WRAP	2,873 SF (297 SY)
ACF BX-12 GEGRID	1,917 SF (213 SY)
12" MAINTENANCE PORTS	3
15" PIPE BOOTS	3

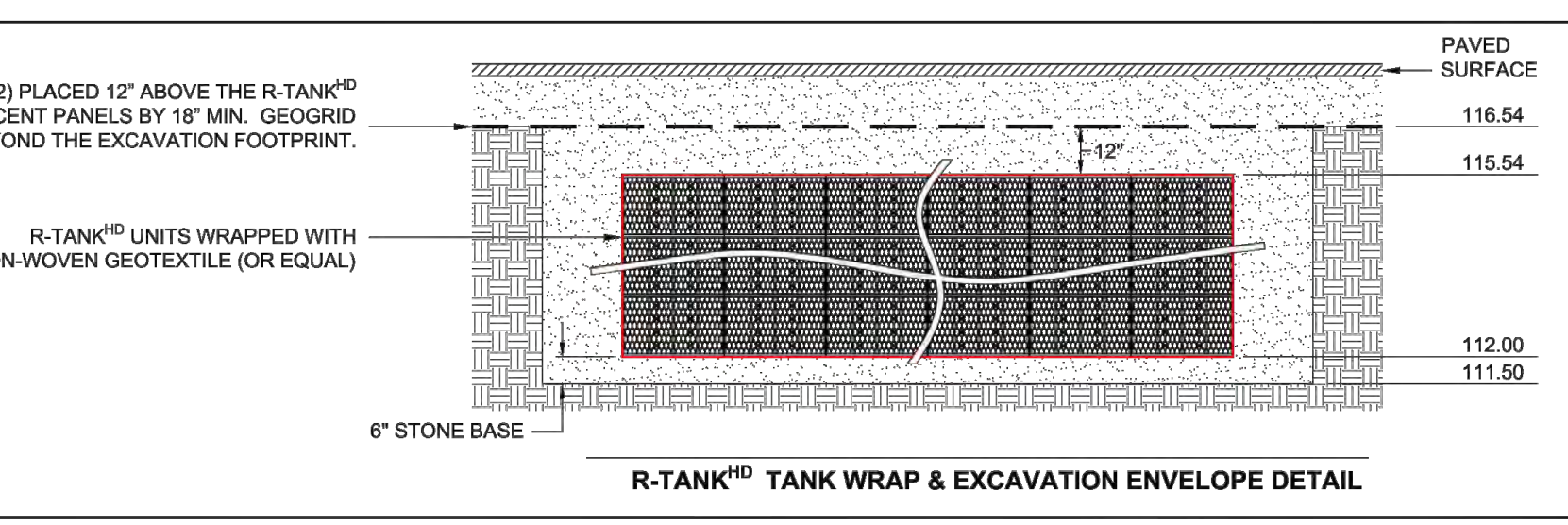
NOTE: STONE QUANTITY INCLUDES 12" OF COVER AND 6" OF BASE.
NOTE: GEOTEXTILE / LINER QUANTITIES INCLUDE A 15% WASTE FACTOR.



LAYOUT SCALE

R-TANK ^{HD} MODULE TYPE	DOUBLE + MINI
TRAFFIC LOAD	HS-20
# OF DOUBLE + MINI R-TANKS	305
TOTAL SYSTEM STORAGE	3,160 CF
R-TANK STORAGE VOLUME	3,160 CF
TOP OF COVER STONE ELEV. (12")	116.54
ACF BX-12 GEGRID ELEV.	116.54
TOP OF R-TANK ELEV.	115.54
TANK INVERT	112.00
INVERT OF STONE BASE (6")	111.50
MIN. STONE PERIMETER WIDTH	2.0 FT

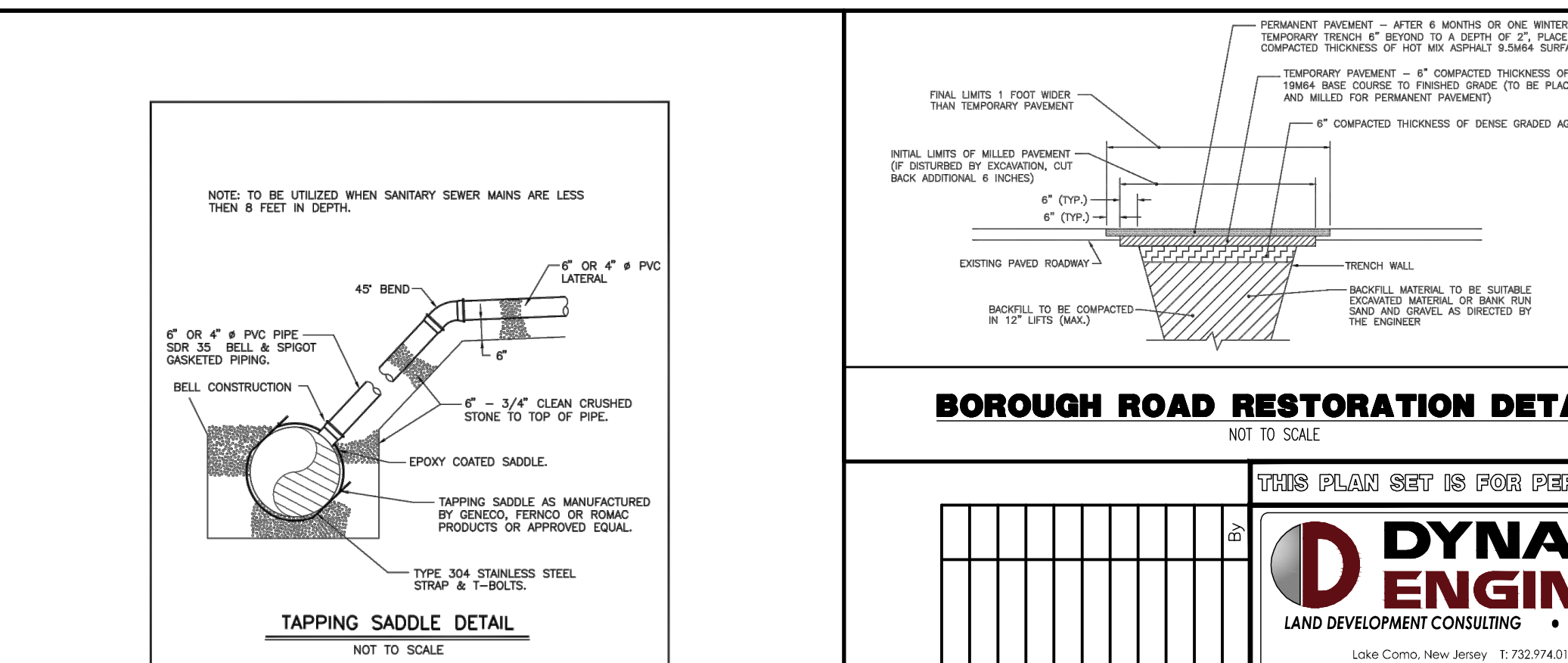
NOTE: STONE STORAGE NOT INCLUDED IN TOTAL STORAGE VOLUME.



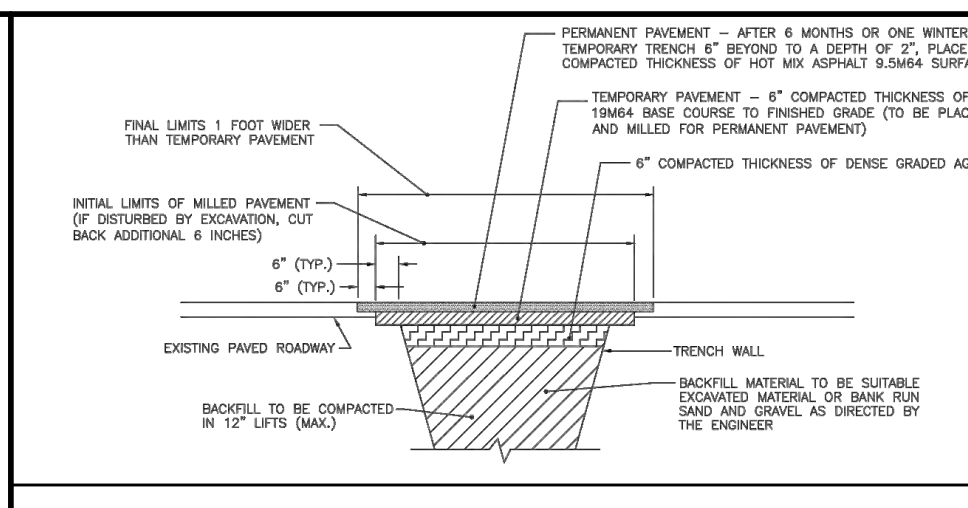
R-TANK^{HD} SYSTEM LAYOUT
INSITE PROPERTY GROUP SELF STORAGE FACILITY
NORTH PLAINFIELD, NJ
SITE DESIGNATION: SIDE PARKING

DATE: 10/28/21
SHEET NO: 2 of 2

SANITARY SEWER SERVICE LATERAL CONNECTION DETAIL.DWG 04/19/2016



BOROUGH OF NORTH PLAINFIELD
TAPPING SADDLE DETAIL
NOT TO SCALE



BOROUGH ROAD RESTORATION DETAIL
NOT TO SCALE

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CONSTRUCTION DETAILS

PROJECT: **INSITE DEVELOPMENT PARTNERS, LLC**
PROPOSED 4-STORY SELF STORAGE FACILITY

DATE: 09/13/2022

JOB No: 3041-99-010

SCALE: (H) AS SHOWN

DESIGNED BY: GMC

CHECKED BY: TJM

DRAWN BY: LPC

PROJECT: INSITE DEVELOPMENT PARTNERS, LLC
BLOCK 119.00, LOT 1.01
US ROUTE 22 & WILSON AVENUE
BOROUGH OF NORTH PLAINFIELD, SOMERSET COUNTY, NEW JERSEY

THOMAS J. MULLER
PROFESSIONAL ENGINEER
NEW JERSEY LICENSE NO. 52179

JOHN A. PALUS
PROFESSIONAL ENGINEER
NEW JERSEY LICENSE NO. 41975

PROTECT YOURSELF
ALL STATE REQUIRE NOTIFICATION OF CONTRACT MODIFICATION OR ANY OTHER CHANGES TO THE CONTRACT DOCUMENTS SHALL BE IN WRITING AND SIGNED BY THE ENGINEER AND THE OWNER.

FOR STATE SPECIFICATIONS VISIT: WWW.CALL811.COM

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Rev. _____ Date _____

Product Ver: 24.1.8 (LMS Tech)
Group 99-010 North Plainfield.Dwg_Amended Site Plans\304199010SD.Dwg. ---> 17 CONSTRUCTION DETAILS

ALPHATECH™ X Linear LED Lighting

ALPHATECH™ X 250/400
Linear LED Lighting

Full Diffusion, precision light quality, and physical durability for every application. Buy American Act compliant and made in the USA.

FEATURES

- Tight binning for exceptionally superior CRI, CRI_a, and Fidelity
- Seamless end-to-end mounting for endless linear runs
- Top, bottom, and side-facing options with multiple output levels
- LED technology for superior color
- IP68 for submersible applications
- USB-C sensor for 24V, 24V, 12V, 5V, and 1.8V outputs
- IP68 (submersible)
- 5-year warranty

ORDERING CODES
Includes back to order

Double LED	Voltage	Model	Length	Mounting	Output
DI	24V	24V-24V-250 (24V Back)	24" (6.1m)	Top	1000K
DI	24V	24V-24V-250 (24V Back)	24" (6.1m)	Bottom	1000K
DI	24V	24V-24V-250 (24V Back)	24" (6.1m)	Side	1000K

24V-24V-250 **24V-24V-400**

COLOR VECTOR GRAPHIC

BEND OPTIONS

Top Bend

Side Bend

ALPHATECH™ X Linear LED Lighting

ALPHATECH™ X 250/400
Linear LED Lighting

Full Diffusion, precision light quality, and physical durability for every application. Buy American Act compliant and made in the USA.

MECHANICAL DIAGRAMS

FLAT CLIP (B/C/D)

NOTHING CLIP (B/C/D)

3/4" CLIP (B/C/D)

MOUNTING CHANNEL - ALUMINUM DITCH

WIRE MANAGEMENT SYSTEM (WMS)

CHANNEL LENGTHS (MATCH / FINISH)

CONNECTIONS

CANOPY LIGHT DETAIL
NOT TO SCALE

PRIORITY LIGHTING

Secure Space College Point

NLS LIGHTING

NV-W
HIGH PERFORMANCE FULL CUT OFF WALL PACE

FORM AND FUNCTION

- Space grade performance
- Engineered for vertical thermal management
- UL746 (UL94 V-0)
- Reduce energy consumption and costs up to 85%

CONSTRUCTION

- Die Cast Aluminum
- Internal cooling fins, Finlets (Patent Pending) (PFA)
- Internal stainless steel hardware
- Optional stainless steel hardware
- Optional stainless steel hardware
- Optional stainless steel hardware
- Optional stainless steel hardware
- Optional stainless steel hardware

FINISH

- 24-hour electrocoat powder coat
- NAL standard high-quality finishes prevent corrosion
- Protect against salt and extreme environmental conditions

LETTINGS

- 100% LED
- 100% DALI
- 100% DMX
- 100% DALI 2
- 100% DALI 2
- 100% DALI 2
- 100% DALI 2

WARRANTY

5-year standard warranty

PROJECT NAME: Secure Space College Point

TYPE: Wallpack

DATE: V1/1

PRIORITY LIGHTING

Secure Space College Point

NLS LIGHTING

EMERGENCY BATTERY AND 7-PIN EXTENSION

MOTION SENSOR PLACEMENT

WARRANTY

5-year standard warranty

PROJECT NAME: Secure Space College Point

TYPE: Wallpack

DATE: V1/1

PRIORITY LIGHTING

Secure Space College Point

NLS LIGHTING

EMERGENCY BATTERY BACKUP LUMENS

PART NUMBER	T1	T2	T3	T4	T5	T6	LUMEN	W
10000	10000	10000	10000	10000	10000	10000	10000	10000

BUS RATINGS

PART NUMBER	T1	T2	T3	T4	W
10000	10000	10000	10000	10000	10000

EMERGENCY BATTERY BACKUP LUMENS

PART NUMBER	T1	T2	T3	T4	W
10000	10000	10000	10000	10000	10000

BUILDING MOUNTED LIGHT DETAIL
NOT TO SCALE

naturaLED

CAL COMPACT AREA LIGHT

DESCRIPTION

naturaLED Compact Area Light is constructed with a durable, die-cast aluminum housing and excellent thermal design and is the perfect lighting solution for your parking lot, street, walkway, building flood up/down light and/or as a high lighter. It provides uniform, consistent color with a wide range of wattage selections to replace up to 150W HID fixtures. Our fixtures are DLC Premium certified and IP65 rated with three types of mounting options available: Pole Mount, Slip-Fit, and Pole Mount. Compatible with photocell sensors, photocells, and motion sensor are available as optional accessories to address your needs.

APPLICATIONS

Parking Lot, Street, Site, Streetscape, Area Lighting

FEATURES

- DLC Premium
- IP65 Rated
- Select binning for color consistency
- Minimal glare
- Type 3 Light Distribution (Optional purchase available for Type 4, Type 5 Luminaire)
- Cable Length: 6 ft
- Material: Die Cast Aluminum
- Laminated UV resistant polycarbonate lens
- Input line voltage: 120-277V / 120-347V / 277-480V
- Dimmable: 1-10V (120-277V) / 0-10V (120-347V / 277-480V)
- Power factor: >0.9
- IK Rating: IK09
- Surge Protection: 6KV
- CRN: 80
- Color Temp: 4000K, 5000K
- Operating temperature: -40°F - 113°F
- Finish: Bronze
- Optional Accessories for Purchase

ACCESSORIES

- Mounting Arms
- Wall Mount
- Shoring Cap
- Receptacle
- Photocell
- Sensors
- Shoring/Clamping Sensor Kit
- Surge Protection
- Glare Shield
- Pole Mountings
- Lens-Type V1/V

PROJECT: Secure Space College Point

SCHEDULE:

DATE:

PREPARE BY:

NOTES:

Rated Life 50,000 Hours
Warranty 5 Years

AREA LIGHT DETAIL
NOT TO SCALE

FAMILY	SERIES	WATTAGE	CRI/COLOR TEMP	COLOR	TYPE	VOLTAGE
FX	CAL	150	840	BZ	IS	480
Feature	compact area light	150 watt	CRI 80 4000K	bronze	typ3	277-480V

SOIL NOTES

- FOOTING DESIGN BASED ON ASSUMED MAXIMUM ALLOWABLE SOILS BEARING CAPACITY OF 2,000 PSF. CONTRACTOR RESPONSIBLE TO VERIFY ADEQUACY OF ASSUMED BEARING CAPACITY PRIOR TO CONSTRUCTION. ENGINEER TO BE NOTIFIED IF INCONSISTENCIES EXIST.
- SUBGRADE TO BE FREE OF ORGANICS AND BE SUITABLE, COMPACTED MATERIAL.

CONCRETE NOTES

- CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4,000 PSI AT 28 DAYS WITH A MINIMUM CEMENT CONTENT OF 600 POUNDS PER CUBIC YARD FOR ALL FOOTINGS.
- ALL CONCRETE SHALL HAVE A SLUMP OF NO GREATER THAN 4" TO WITHIN A TOLERANCE OF 1".
- ALL EXPOSED CONCRETE SHALL BE AIR-ENTRAINED (WITHIN 1% TOLERANCE), CONFORMING TO ASTM C260.
- REINFORCING FRAMEWORK AND PLACEMENT OF CONCRETE SHALL COMPLY WITH GOOD CONSTRUCTION PRACTICES AND BE IN ACCORDANCE WITH ALL LOCAL GOVERNING CODES AND REGULATIONS AS WELL AS THE ACT AND UNIFORM BUILDING CODE.

AREA LIGHT FOUNDATION DETAIL
NOT TO SCALE

SOIL NOTES

- FOOTING DESIGN BASED ON ASSUMED MAXIMUM ALLOWABLE SOILS BEARING CAPACITY OF 2,000 PSF. CONTRACTOR RESPONSIBLE TO VERIFY ADEQUACY OF ASSUMED BEARING CAPACITY PRIOR TO CONSTRUCTION. ENGINEER TO BE NOTIFIED IF INCONSISTENCIES EXIST.
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LIGHT POLE FOUNDATION SCHEDULE

MOUNTING HEIGHT ABOVE GRADE 'X'	18'-20'
POLE DIA. 'B'	6" SQUARE (OR PER MANUFACTURER)
# OF FIXTURES	SINGLE OR DOUBLE
FOUNDATION DIAMETER 'C'	18" DIA. ROUND
FOUNDATION DEPTH 'D'	7'
REINFORCING TIES 'E'	#4 @ 12" O.C.
VERTICAL REINFORCEMENT 'F'	(6) #6 BARS EQUALLY SPACED

Plotted: 09/27/22 - 1:24 PM, By: gowdrick, Product: Ver: 24.1.9 (LMS Tech)
 File: P:\VEPC PROJECTS\3041\3041 Site Property Group\30-010 North Plainfield\DWG\Amended Site Plans\3041R010SD0.dwg, ---> 18 CONSTRUCTION DETAILS

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CONSTRUCTION DETAILS

PROJECT: INSIDE DEVELOPMENT PARTNERS, LLC
PROPOSED 4-STORY SELF STORAGE FACILITY

LOT: 1.01
US ROUTE 22 & WILSON AVENUE
BOROUGH OF NORTH PLAINFIELD, SOMERSET COUNTY, NEW JERSEY

DATE: 09/13/2022

JOB No: 3041-99-010

DRAWN BY: GMC

DESIGNED BY: LPG

CHECKED BY: TJM

CHECKED BY: TJM

SCALE: (H) AS SHOWN (V) SHOWN

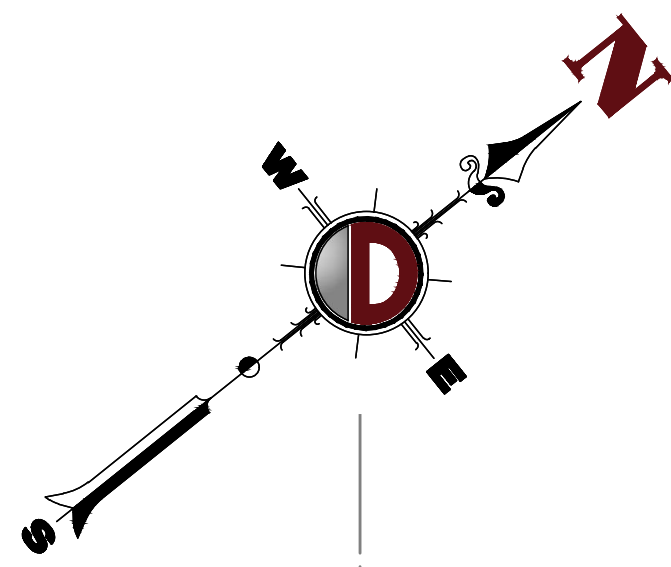
SHEET No: 18 OF 20

THOMAS J. MULLER
PROFESSIONAL ENGINEER
NEW JERSEY LICENSE No. 52179

JOHN A. PALUS
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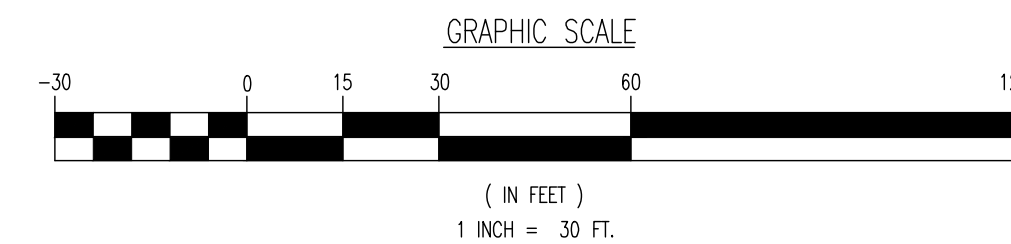
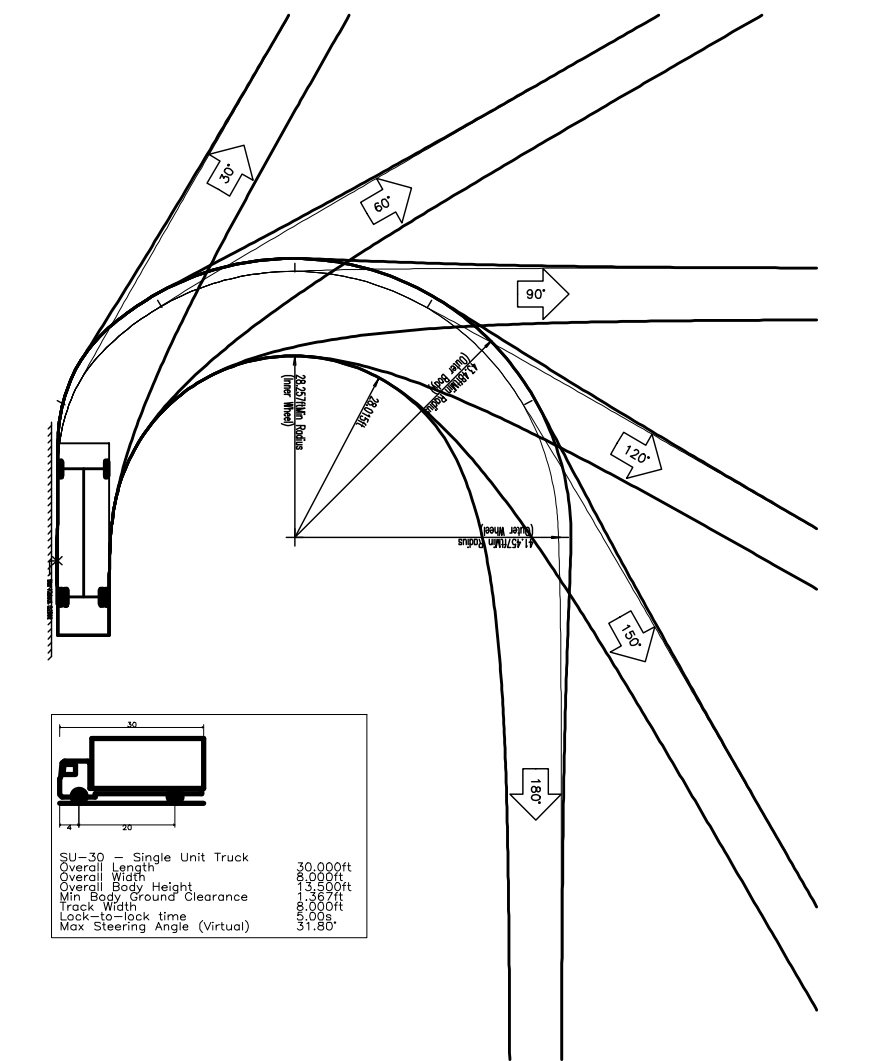
PROTECT YOURSELF
ALL USERS REQUIRE VERIFICATION OF SCHEMATIC RECORDS, OR ANY OTHER PERMITTING TO VERIFY THE USER'S SPACE AGREES TO THE PLAN.

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WILSON AVENUE
(67' ROW WIDTH PER TAX MAP)

N.J.S.H. ROUTE 22
(100' ROW WIDTH PER TAX MAP)



Product Ver: 24.1s (LMS Tech)
Group 39-010 North Plainfield\DWG\Amended Site Plans\30419801050\0.dwg -> VEHICLE CIRCULATION PLAN (SU-30)

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TITLE: **VEHICLE CIRCULATION PLAN (SU-30)**

PROJECT: **INSITE DEVELOPMENT PARTNERS, LLC
 PROPOSED 4-STORY SELF STORAGE FACILITY**

BLOCK 119.00, LOT 1.01
 US ROUTE 22 & WILSON AVENUE
 BOROUGH OF NORTH PLAINFIELD, SOMERSET COUNTY, NEW JERSEY

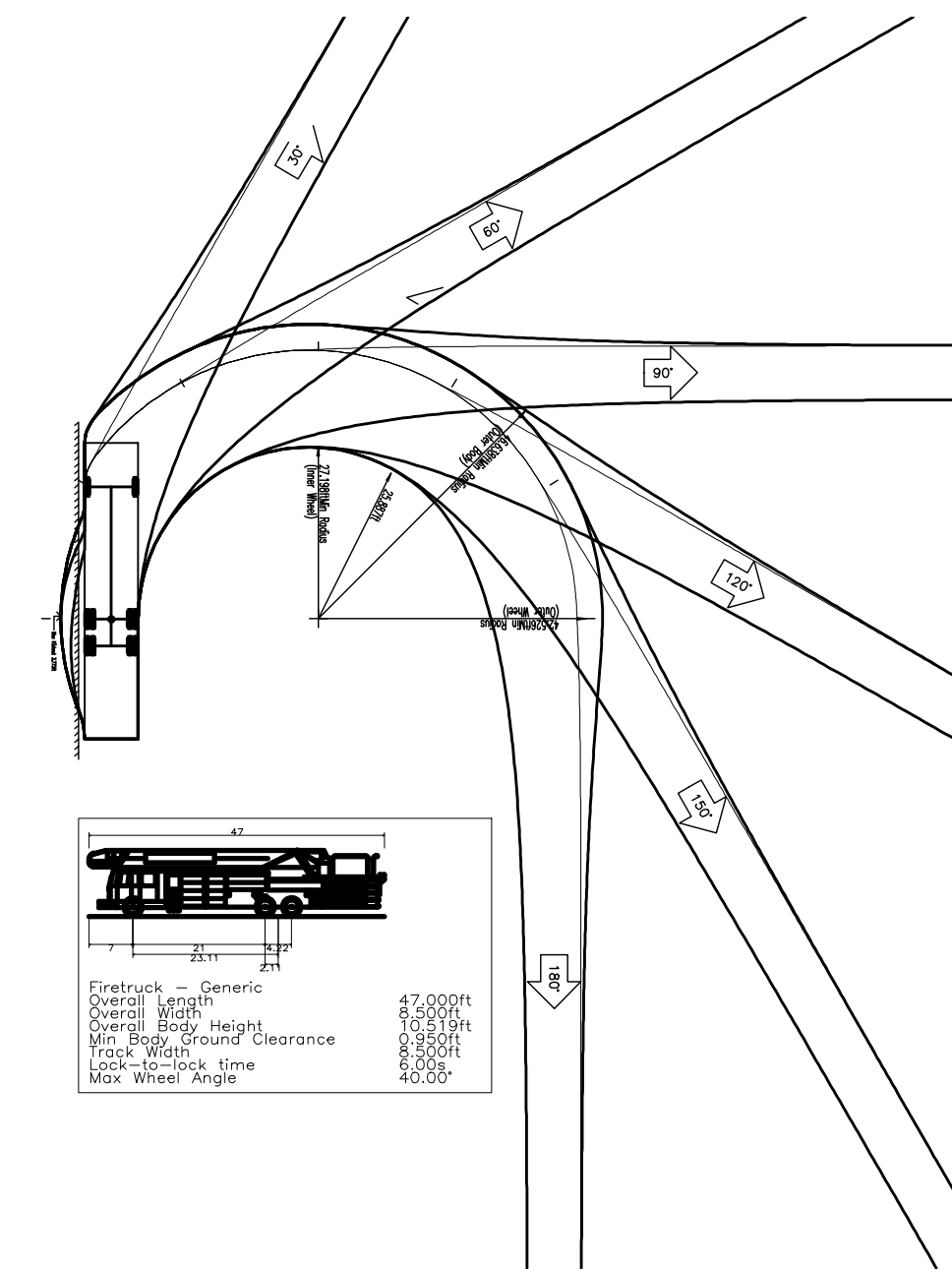
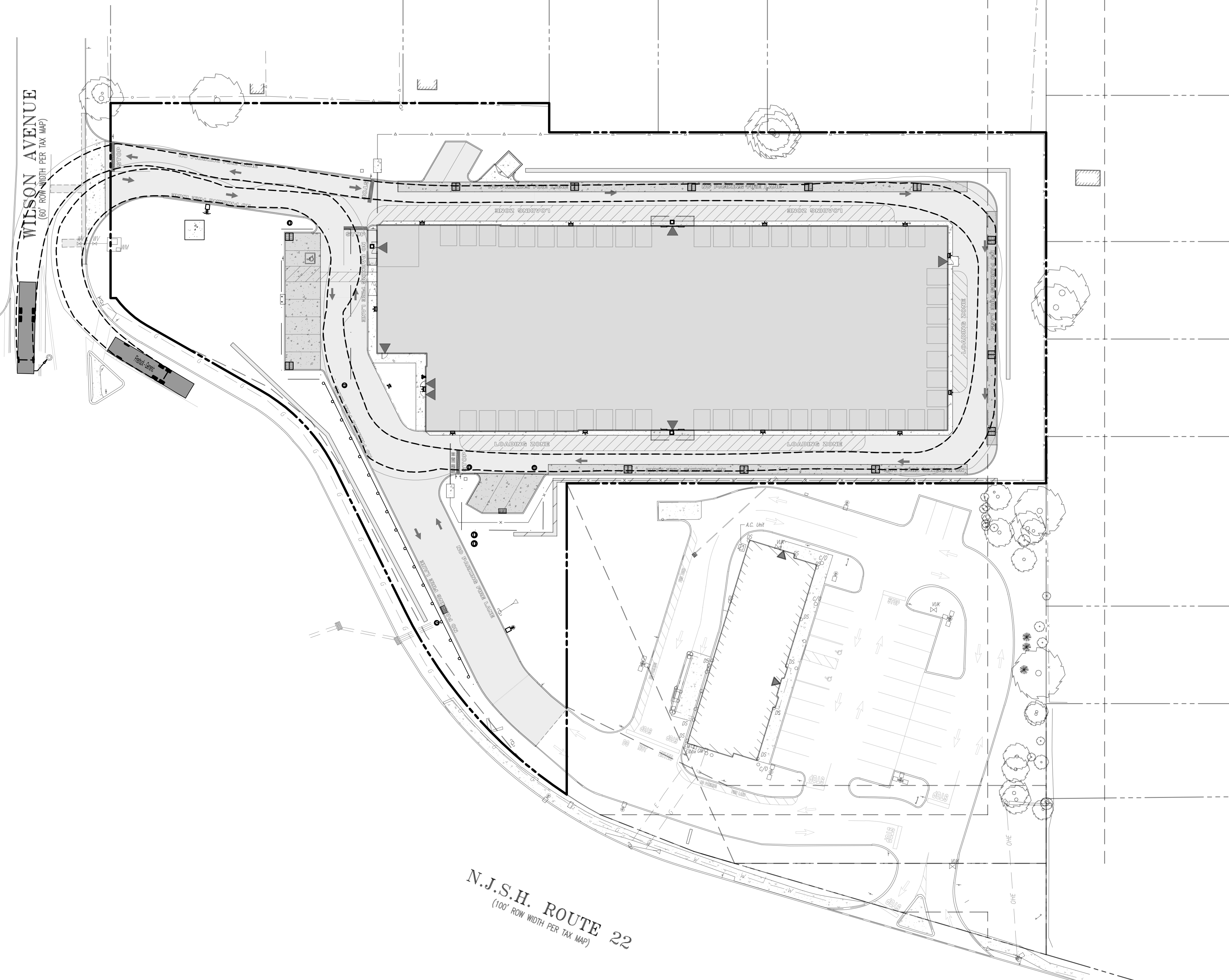
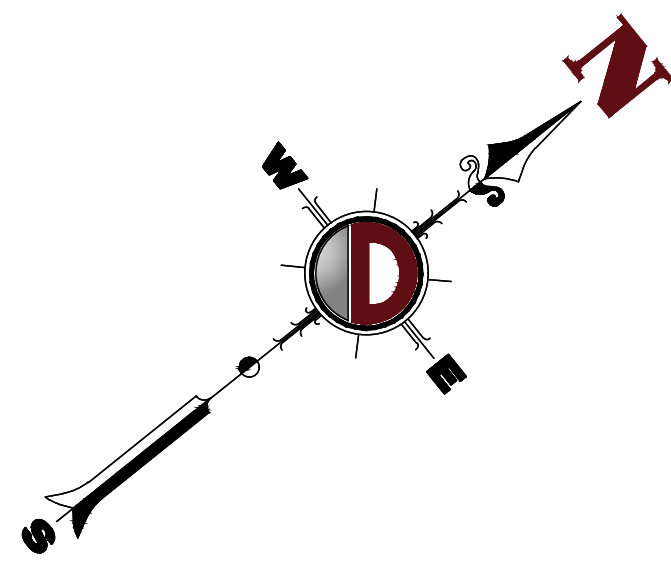
JOB No: 3041-99-010
 DATE: 09/13/2022
 DRAWN BY: UV
 SCALE: (H) 1"=30'
 (V)
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THOMAS J. MULLER
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 NEW JERSEY LICENSE No. 52179

JOHN A. PALUS
 PROFESSIONAL ENGINEER
 NEW JERSEY LICENSE No. 41975

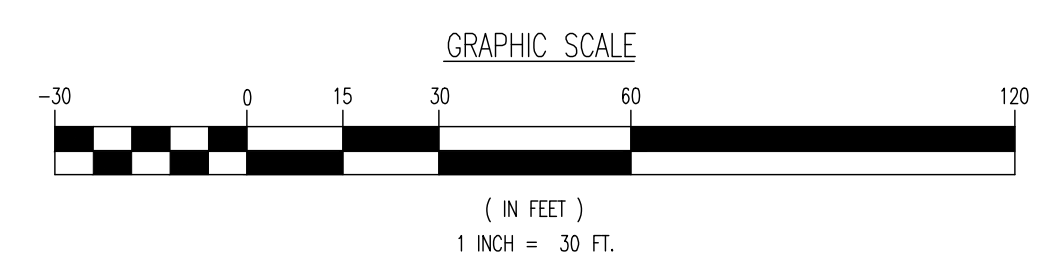
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19
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Firetruck - Generic	40'00"
Overall Length	24'00"
Overall Width	8'6"
Min. Ramp Height	6'00"
Min. Ramp Ground Clearance	6'00"
Load Capacity	40,000
Max. Wheel Angle	40.00°

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 Lake Como, NJ 07719
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TITLE: **VEHICLE CIRCULATION PLAN (FIRE TRUCK)**

PROJECT: **INSITE DEVELOPMENT PARTNERS, LLC**
PROPOSED 4-STORY SELF STORAGE FACILITY
 BLOCK 119.00, LOT 1.01
 US ROUTE 22 & WILSON AVENUE
 BOROUGH OF NORTH PLAINFIELD, SOMERSET COUNTY, NEW JERSEY

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Plotted: 09/27/22 - 1:24 PM, By: gowdrick, Product Ver: 24.1s (LMS Tech)
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