

PRIME 144 SOMERSET LLC PROPERTY AT 140-150 SOMERSET STREET NORTH PLAINFIELD, NJ 07060 BLOCK 85 LOT 27 & 28

APPLICABLE CODES & BUILDING DATA

INTERNATIONAL BUILDING CODE FOR BUILDING CONSTRUCTION (2021 IBC) AND ADOPTED REVISIONS AND SUPPLEMENTS FOR THE STATE OF NEW JERSEY, AND ALL REFERENCED CODES AND STANDARDS FOR PLUMBING, MECHANICAL AND ELECTRICAL COMPONENTS.

IBC BUILDING CLASSIFICATIONS:
 USE GROUP: B-BUSINESS, M-MERCANTILE & R2- RESIDENTIAL APARTMENTS
 CONSTRUCTION CLASSIFICATION: TYPE III

RESIDENTIAL SPACE 4640 SF
 COMMERCIAL SPACE 2408 SF
 WAREHOUSE SPACE 2100 SF 21,000 CF NO CHANGE
 VOLUME OF BUILDING 81,140 CF MAIN 3 STORY BUILDING
 THIS IS AN INTERIOR MODIFICATION TO EXISTING RESIDENTIAL APARTMENTS, BUSINESS & MERCANTILE USE SPACE.

BUILDING CHARACTERISTICS:
 3 STORY MIXED USE OF BUSINESS, MERCANTILE & RESIDENTIAL APARTMENTS
 B & M USE OCCUPANCY IS 2408 SF / 100 GROSS SF EQUALS 24 OCCUPANTS
 MIN. OF 1 HOUR SEPARATION IS AND WILL BE MAINTAINED BETWEEN TENANTS.
 2 HOURS BETWEEN R-2 USE AND B & M USES.

GENERAL PROJECT REQUIREMENTS

1. THE CONTRACTOR SHALL VERIFY CONDITIONS AND DIMENSIONS IN THE AREA OF WORK BEFORE PROCEEDING, NOTIFY THE ARCHITECT IN WRITING OF ANY VARIATIONS OR INCONSISTENCIES ENCOUNTERED, PROCEED WITH WORK ONLY AFTER EVALUATION AND RESOLUTION OF RECOMMENDED ADJUSTMENTS. IF WARRANTED, ADJUSTMENTS MAY REQUIRE MODIFICATION OF THE SCOPE OF WORK, CONTRACT SUM AND CONTRACT SCHEDULE.

2. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IN WRITING OF VARIATIONS OR INCONSISTENCIES IN THE CONSTRUCTION DOCUMENTS AND OBTAIN THE ARCHITECT'S WRITTEN INTERPRETATION BEFORE PROCEEDING WITH WORK IN THE AFFECTED AREA.

3. THE CONTRACTOR SHALL FURNISH ALL LABOR, MATERIALS AND EQUIPMENT NECESSARY TO PERFORM ALL WORK OF THE PROJECT TO FULL AND OCCUPIABLE COMPLETION AS INDICATED OR OTHERWISE REFERENCED IN THE CONSTRUCTION DOCUMENTS.

4. THE CONTRACTOR SHALL SECURE ALL PERMITS REQUIRED FOR THE WORK INCLUDING SUB-CODE PERMITS FOR PORTIONS OF THE WORK PERFORMED BY SUBCONTRACTORS. THE OWNER SHALL PAY FOR ALL PERMITS.

5. SUBJECT TO THE APPROVAL OF THE OWNER, THE CONTRACTOR SHALL ESTABLISH AND ADMINISTER ALL ASPECTS OF THE PROJECT SCHEDULE, THE SCHEDULE OF WORK SHALL BE ORGANIZED TO PERMIT FULL, CONTINUOUS AND SAFE ACCESS BY THE OWNER.

6. THE CONTRACTOR SHALL PERFORM ALL DEMOLITION AS INDICATED OR, IF NOT INDICATED, AS NECESSARY TO FACILITATE NEW CONSTRUCTION. PROVIDE ALL TEMPORARY CONSTRUCTION AND BARRIERS, AND TAKE ALL PRECAUTIONS TO PROTECT PERSONS AND PROPERTY FROM INJURY OR DAMAGE DURING DEMOLITION AND THROUGHOUT THE FULL CONSTRUCTION PERIOD. DEMOLITION SHALL BE PERFORMED IN FULL COMPLIANCE WITH ALL APPLICABLE LAWS, ORDINANCES, REGULATIONS AND RULES. ALL DEBRIS SHALL BE REMOVED FROM THE PROJECT SITE AND DISPOSED OF AS REQUIRED BY LAW.

7. THE REMOVAL OF HAZARDOUS SUBSTANCES IS EXCLUDED FROM THE WORK OF THIS CONTRACT. IF HAZARDOUS SUBSTANCES ARE ENCOUNTERED, STOP WORK IN THE AFFECTED AREA AND IMMEDIATELY NOTIFY THE OWNER AND ARCHITECT.

LIST OF DRAWINGS

| REV. | DATE | DESCRIPTION | BY |
|------|-----------|-------------------|----|
| 5 | 7/20/2023 | GENERAL REVISIONS | BK |
| 4 | 3/15/2023 | GENERAL REVISIONS | BK |
| 3 | 2/24/2023 | GENERAL REVISIONS | BK |
| 2 | 8/10/2022 | GENERAL REVISIONS | BK |
| 1 | | | |

| NO. | DATE | DESCRIPTION | BY |
|---------|------|---|----|
| T-101 | | TITLE SHEET, BUILDING DATA, NOTES, SITE PLAN & LIST OF DRAWINGS | |
| E-101 | | EXISTING FIRST FLOOR PLAN | |
| A-101 | | PROPOSED FIRST FLOOR PLAN & STOREFRONT ELEVATION | |
| RCP-101 | | PARTIAL FIRST FLOOR REFLECTED CEILING PLAN | |
| E-102 | | EXISTING SECOND FLOOR PLAN | |
| A-102 | | PROPOSED SECOND FLOOR PLAN | |
| MEP-102 | | SECOND FLOOR MEP PLAN | |
| E-103 | | EXISTING THIRD FLOOR PLAN | |
| A-103 | | PROPOSED THIRD FLOOR PLAN | |
| MEP-103 | | THIRD FLOOR MEP PLAN | |
| MEP-104 | | RISER DIAGRAMS | |
| A-201 | | EAST & NORTH ELEVATIONS & BALCONY PLANS | |
| A-301 | | STAIR AND BALCONY SECTIONS & PLAN | |
| A-401 | | STAIR & BALCONY DETAILS | |
| A-402 | | EXTERIOR BALCONY, WALL & WINDOW DETAILS | |
| A-501 | | WINDOW & DOOR SCHEDULES & NOTES | |

7 4/20/2024 BK
 6 8/20/2023 BK
 GENERAL REVISIONS

ZONING REQUIREMENTS & IDENTIFICATION OF VARIANCES

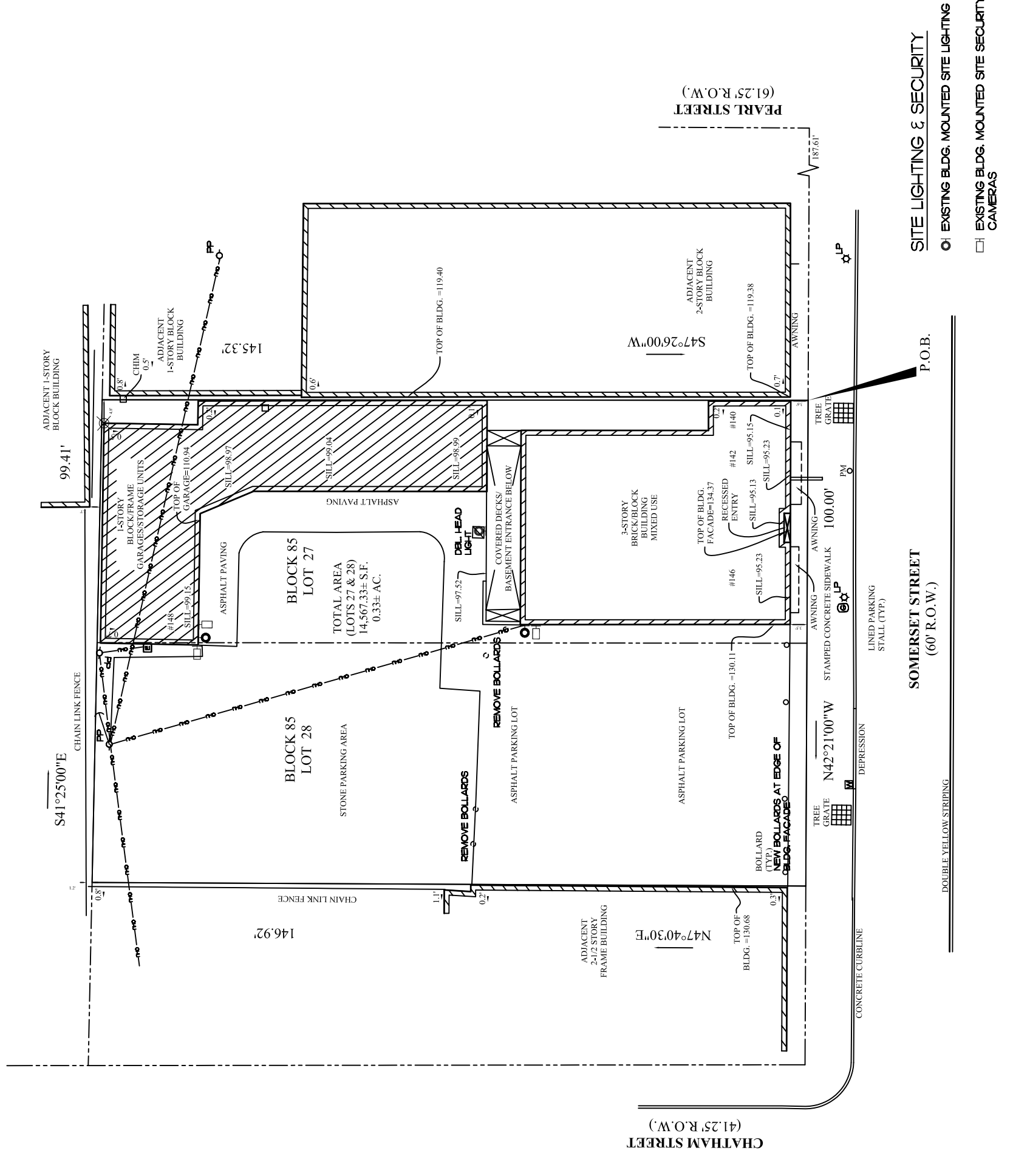
ZONING DISTRICT: B-1 BUSINESS NOTE: ALL OTHER PROPERTIES WITH 200 FEET ARE B-1
 BLOCK / LOT: 85 / 27 & 28
 OWNER / APPLICANT: PRIME 144 SOMERSET LLC
 PROPERTY ADDRESS: 140-150 SOMERSET STREET NORTH PLAINFIELD, NJ

THIS IS AN EXISTING MIXED USE BUILDING WITH M- MERCANTILE AND/ OR B-BUSINESS ON FIRST FLOOR WITH RELATED STORAGE TO THE REAR, AND APARTMENTS ON SECOND & THIRD FLOOR

| ZONING REQUIREMENT | REQUIRED OR PERMITTED | EXISTING | PROPOSED | CHECK IF VARIANCE REQUESTED |
|--|-----------------------|------------|-----------|-----------------------------|
| MINIMUM LOT SIZE (SF/ACRES) | 40,000 SF. | 14,567 SF. | NO CHANGE | NO |
| MINIMUM LOT WIDTH (FT.) | 75 FT. | 100 FT. | NO CHANGE | NO |
| MINIMUM LOT DEPTH (FT.) | 100 FT. | 145.32 FT. | NO CHANGE | NO |
| PRINCIPAL BUILDING | | | | |
| MINIMUM FRONT YARD SETBACK (FT.) | 10 FT. | 3.5 FT. | NO CHANGE | NO EXISTING |
| MINIMUM RIGHT SIDE YARD SETBACK (FT.) | 15 FT. | 01 FT. | NO CHANGE | NO EXISTING |
| MINIMUM LEFT SIDE YARD SETBACK (FT.) | 15 FT. | 49 FT. | NO CHANGE | NO EXISTING |
| MINIMUM REAR YARD SETBACK (FT.) | 40 FT. | 0.5 FT. | NO CHANGE | NO EXISTING |
| MAXIMUM BUILDING HEIGHT (FT.) | 50 FT. | 39.24 FT. | 39.24 FT. | NO |
| MAXIMUM BUILDING STORIES | 5 STORY | 3 STORY | 3 STORY | NO |
| OTHER ZONING REQUIREMENTS ARE NOT APPLICABLE TO THIS PRE-EXISTING BUILDING | | | | |

| FLOOR AREA PER APARTMENT UNITS | 0 BEDROOMS (EFFICIENCY) | 1 BEDROOM | 2 BEDROOM APARTMENT 1 | 3 BEDROOM APARTMENT 2 | 3 BEDROOM APARTMENT 3 | 3 BEDROOM APARTMENT 4 |
|--------------------------------|-------------------------|-----------|-----------------------|-----------------------|-----------------------|-----------------------|
| | 450 SF | NONE | NONE | NONE | NONE | NONE |
| | 595 SF | NONE | NONE | NONE | NONE | NONE |
| | 800 SF | 137 SF | 137 SF | 137 SF | 137 SF | 137 SF |
| | 800 SF | 1045 SF | 1045 SF | 1045 SF | 1045 SF | 1045 SF |
| | 800 SF | 181 SF | 181 SF | 181 SF | 181 SF | 181 SF |
| | 800 SF | 1084 SF | 1084 SF | 1084 SF | 1084 SF | 1084 SF |

* ALTHOUGH A VARIANCE FOR SF AREA IS NOT NEEDED, A VARIANCE IS REQUESTED BECAUSE THE EXISTING APARTMENTS WITH THE SAME SF AREA HAVE BEEN UPDATED TO HAVE 3 BEDROOMS IN PLACE OF 2 BEDROOMS IN ALL FOUR UNITS. THIS IS CONSIDERED AN INCREASE OF USE.



THIS SITE PLAN IS FOR GENERAL INFORMATIONAL PURPOSES. THE OFFICIAL SURVEY IS BY GEORGE W. KAPLAN, INC. 2462627800 410 LAFAYETTE AVE. WYCKOFF, NJ 07481
 BOUNDARY SURVEY OF THE PROPERTY LOCATED AT 140-150 SOMERSET STREET BOROUGH OF NORTH PLAINFIELD NJ 07060 COUNTY OF SOMERSET LOT 27 AND 28 BLOCK 85, PROFESSIONAL LAND SURVEYOR ANDRZEJ NAMYSLAK, P.L.S. NJ LIC. 246504395900
 FIELD DATE 5/27/2023 APPROVED DATE 6/6/2023

THIS SITE PLAN IS FOR ARCHITECTURAL PURPOSES ONLY. REFERENCE SITE ENGINEERING DRAWINGS FOR DEVELOPED SITE PLAN.

MUNICIPAL SIGNATURE BLOCK

SIGNATURE OF CHAIRMAN OF PLANNING BOARD OR BOARD OF ADJUSTMENT _____ DATE _____

SIGNATURE OF SECRETARY OF PLANNING BOARD OR BOARD OF ADJUSTMENT _____ DATE _____

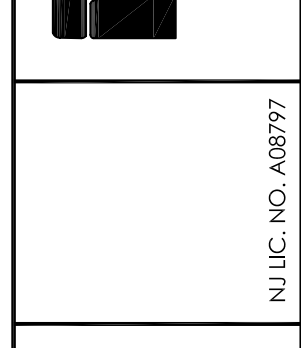
SIGNATURE OF BOROUGH ENGINEER _____ DATE _____

SIGNATURE OF OTHER OFFICIALS (PLEASE NOTED) _____ DATE _____

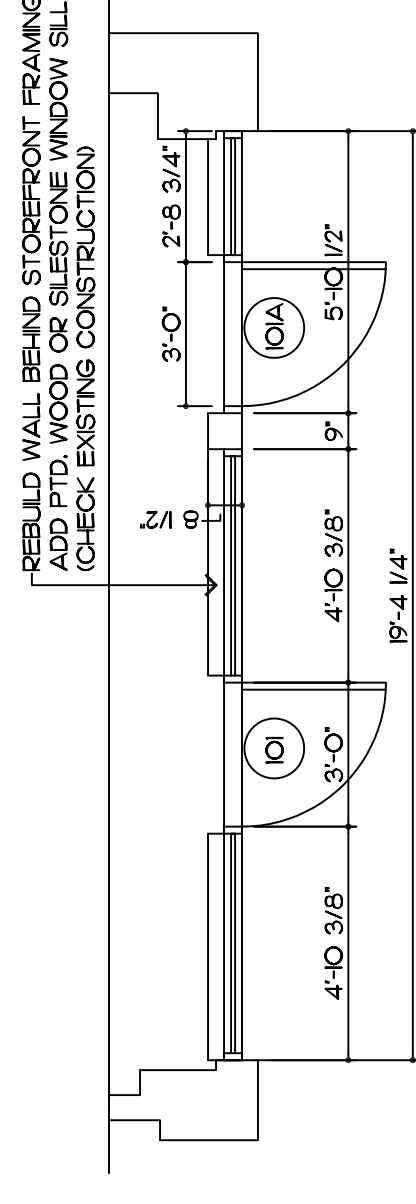
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|----------------|--------------|----------------|-------|
| PROJECT NUMBER | 2204 | DRAWING NUMBER | T-101 |
| SCALE | AS NOTED | | |
| DRAWN BY | RFK | CHECKED BY | RFK |
| DATE | 24 JULY 2022 | | |

PRIME 144 SOMERSET LLC
 APARTMENT & COMMERCIAL RENOVATION
 144 SOMERSET STREET
 NORTH PLAINFIELD, NJ

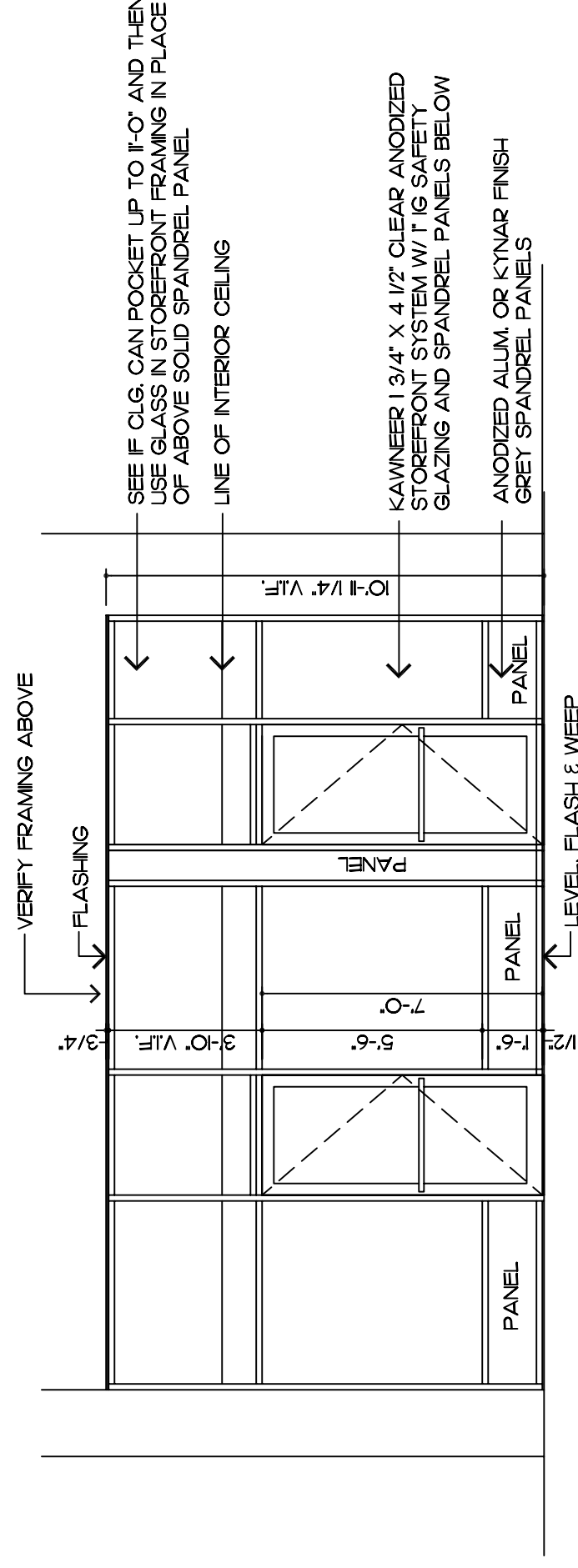
ROBERT F. KRAUSE / ARCHITECT
 414 NORTH WASHINGTON AVENUE
 DUNELLEN, NJ 08812 732.781-6116



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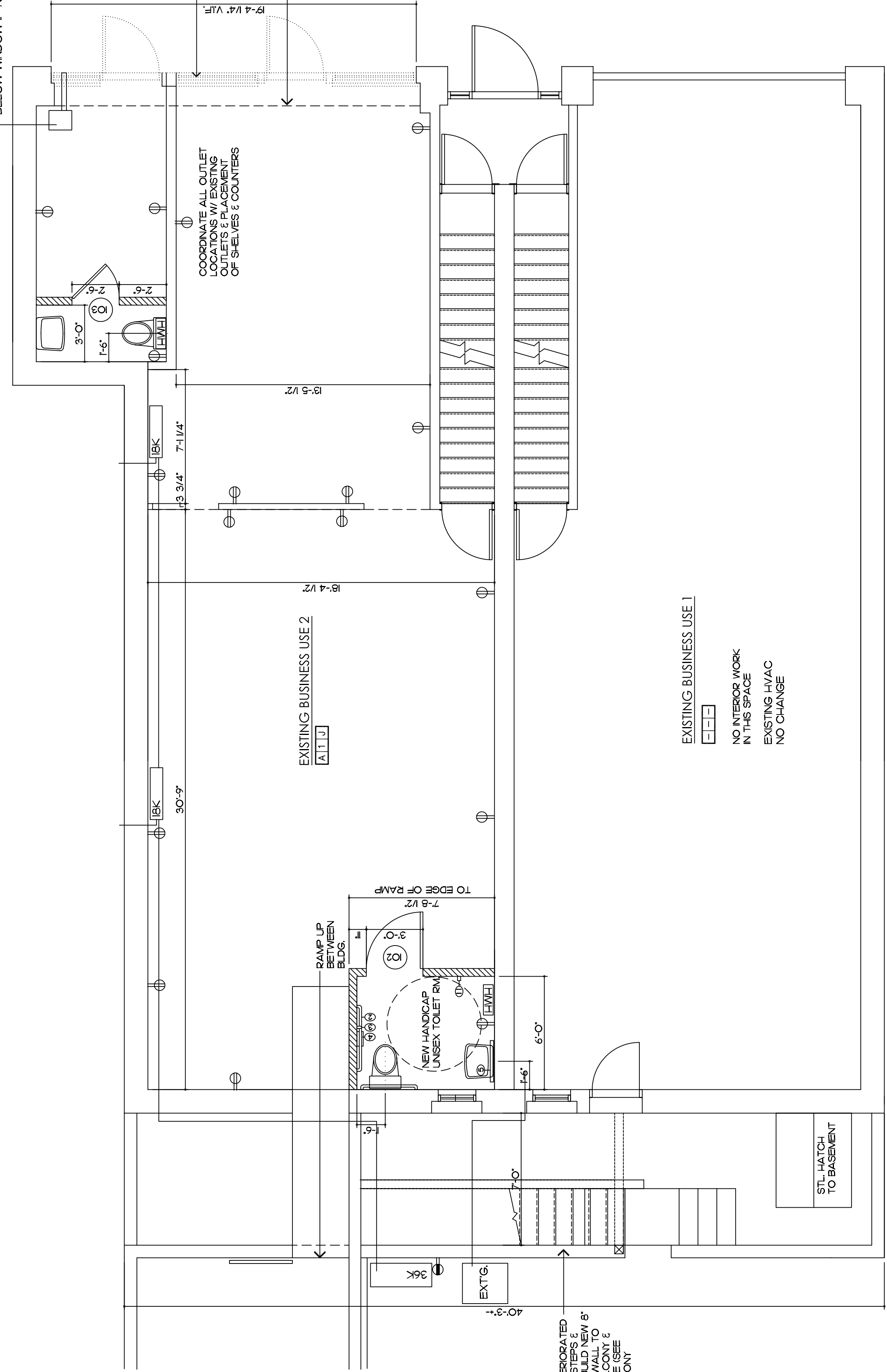


2 PROPOSED NEW STOREFRONT PLAN
SCALE: 1/4" = 1'-0"

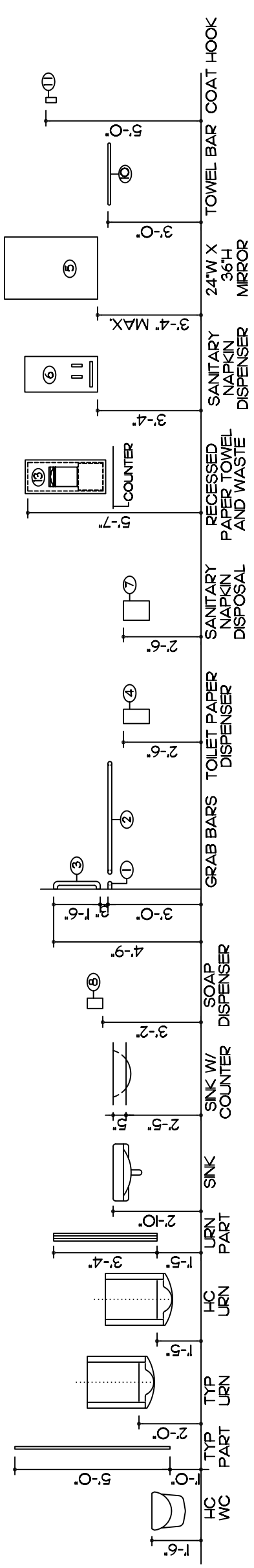


A PROPOSED NEW STOREFRONT ELEVATION
SCALE: 1/4" = 1'-0"

POSSIBLE SMALL FREE STANDING HVAC UNIT. VENT THRU SPANDREL BELOW WINDOW IF NEEDED.



1 PROPOSED FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"



TOILET ROOM FIXTURE & ACCESSORY MOUNTING HEIGHTS

NOTE: NOT ALL FIXTURE AND ACCESSORY ARE USED. ALL HEIGHTS SHALL CONFORM TO ADA

TOILET ROOM ACCESSORIES

- 1. 36" GRAB BAR
- 2. 42" GRAB BAR
- 3. 18" VERTICAL GRAB BAR
- 4. TOILET PAPER HOLDER (WALL MOUNTED)
- 5. MIRROR
- 6. WALL MOUNTED SANITARY NAPKIN DISPENSER
- 7. WALL MOUNTED SANITARY NAPKIN DISPOSAL
- 8. WALL MOUNTED SOAP DISPENSER
- 9. UTILITY SHELF / MOP HANGER
- 10. TOWEL BAR
- 11. COAT HOOK
- 12. CURTAIN ROD
- 13. RECESSED PAPER TOWEL AND WASTE

TOILET ACCESSORIES:

GRAB BARS: BOBRICK OR EQUAL 1 1/2" DIA CHROME IN LENGTHS INDICATED
PAPER TOWEL DISPENSER: KIMBERLY CLARK PROFESSIONAL O9736-OI
TOILET PAPER HOLDER: CSI DONNER YB809 ROLLER ONLY CHROME W/ CHROME PLASTIC WALL MTD.
MIRROR: SURFACE MTD. STAINLESS EDGE 24X36

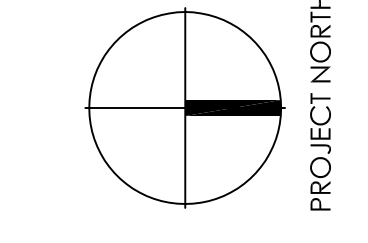
TOILET ROOM LAVATORY: AMERICAN STANDARD LUCERNE # O355 WHITE W/ DOUBLE WRIST BLADE DELTA #2529HDF CHROME FAUCET, 4" CENTERS, 1/2" CONNECTIONS, CHROME FINISH SUPPLY AND SHUT-OFFS, TRUEPRO OR EQUAL LAV GUARD, PROTECTIVE UNDERSINK DRAIN PIPING AND ANGLE VALVE SUPPLY COVERS.

- 36K AOU36RLXFZH NON DUCTED 36,000 BTU/H EXTERIOR UNIT MOUNTED ON BACK WALL OR PEDESTAL ON ASPHALT TO HANDLE 2 INDOOR UNITS
- 1BK ASUH18LPAS 18,000 BTU/H INDOOR WALL MOUNTED HEATING & COOLING UNIT
- 1EWH POSSIBLE ELECTRIC TANKLESS WATER HEATERS RHEEM 4.68GPM IN TOILET ROOMS

HVAC KEY & NOTES

BASIS OF DESIGN IS FUJITSU HALCYON XLTH MULTI ZONE MINI SPLIT SYSTEM. IF OTHER MANUFACTURER IS SELECTED IT SHOULD BE EQUAL AND APPROVED BY ARCHITECT AND OWNER.

ONE SUBCONTRACTOR WOULD LIKE TO USE COOPER & HUNTER UNITS 9K BTU IS SMALLEST INDOOR UNIT. SIZED TO BALANCE SYSTEM. USE MULTI ZONE SYSTEM W/ JUST ONE EXTERIOR UNIT



| FINISH LEGEND | |
|---------------------------|------------------------|
| MMK FLOOR MATERIAL/FINISH | MMK BASE TYPE |
| MK WALL FINISH | 010 BASE FLOOR |
| A LVT OR OTHER | 1 1/4" RUBBER OR VINYL |
| B PLYMD. FLOOR | 2 WOOD |
| C PLYMD W/ CARPET TILE | 3 TILE |
| D PATCH CONC. FLOOR | 4 NO BASE |
| E UNFINISHED CMU | N UNFINISHED CMU |
| F | |

| | | | |
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| PROJECT NUMBER | 2204 |
| SCALE | 1/4" = 1'-0" |
| DRAWN BY | RFK |
| CHECKED BY | RFK |
| DATE | 24 JULY 2022 |

| | | | |
|------------------------------|-----------------------------|---------------------|----------------------|
| PRIME 144 SOMERSET LLC | APARTMENT RENOVATION | 144 SOMERSET STREET | NORTH PLAINFIELD, NJ |
| ROBERT F. KRAUSE / ARCHITECT | 414 NORTH WASHINGTON AVENUE | DUNELLEN, NJ 08812 | 732 781-6116 |

| | |
|---------------------------|------------------------|
| PROPOSED FIRST FLOOR PLAN | & STOREFRONT ELEVATION |
|---------------------------|------------------------|

| | |
|----------------|-------------|
| DRAWING NUMBER | A-101 |
| DATE | A-101-FEB23 |

WALL, CEILING & FLOOR KEY & NOTES:

-  EXISTING WALLS (SEE NOTE)
-  NEW WALLS (SEE NOTE)
-  REMOVED WALLS AND DOORS

EXISTING WALL NOTE: ALL EXISTING WALLS THAT REMAIN ARE TO HAVE LATH AND PLASTER OR GWB REMOVED AND VERIFY CONDITION OF WALL & REBUILD AS NECESSARY. WHILE WALL IS OPEN RUN NEW ELECTRICAL THROUGHOUT AND ANY OTHER ITEMS IN THE WALLS. BUILD BACK WITH 5/8" TYPE X GWB AND SOUND INSULATION AS REQUESTED BY OWNER. FOR EXTERIOR WALLS FURR OUT TO INSTALL MINIMUM 1" R-7 RIDGID INSULATION BOARD THEN GWB.

NEW WALL NOTE: 2X4 WOOD OR 3 5/8" 20 GAUGE METAL STUDS AT 16" OC WITH 5/8" TYPE X GWB EACH SIDE AND SOUND INSULATION AS REQUESTED BY OWNER.

CEILING NOTE: ALL CEILINGS TO HAVE LATH AND PLASTER OR GWB. REMOVED AND VERIFY CONDITION OF JOISTS AND RAFTERS & REBUILD WITH WOOD. WHILE CEILING IS OPEN RUN NEW ELECTRICAL THROUGHOUT AND ANY OTHER ITEMS. BUILD BACK WITH 2 LAYERS OF 5/8" TYPE X GWB & SOUND INSULATION AND/OR RESILIENT SOUND ISOLATION CLIPS BETWEEN FLOORS AS REQUESTED BY OWNER. FOR ROOF RAFTERS INSTALL MIN R-38 INSULATION BATTS OR R-49 CLOSED CELL SPRAY FORM INSULATION

FLOOR NOTE: OWNER WOULD LIKE TO RUN LVT TILE THROUGHOUT APARTMENTS EXCEPT BATHROOMS. EXISTING FLOOR IS A MIX BUT MOSTLY WOOD. LEVEL, PATCH & PREPARE FLOOR FOR LVT INSTALLATION. INSTALL OWNER SELECTED LVT, CORETEX OR EQUAL. WOOD MAY BE AN OPTION TO DISCUSS WITH OWNER.

WINDOWS NOTE:

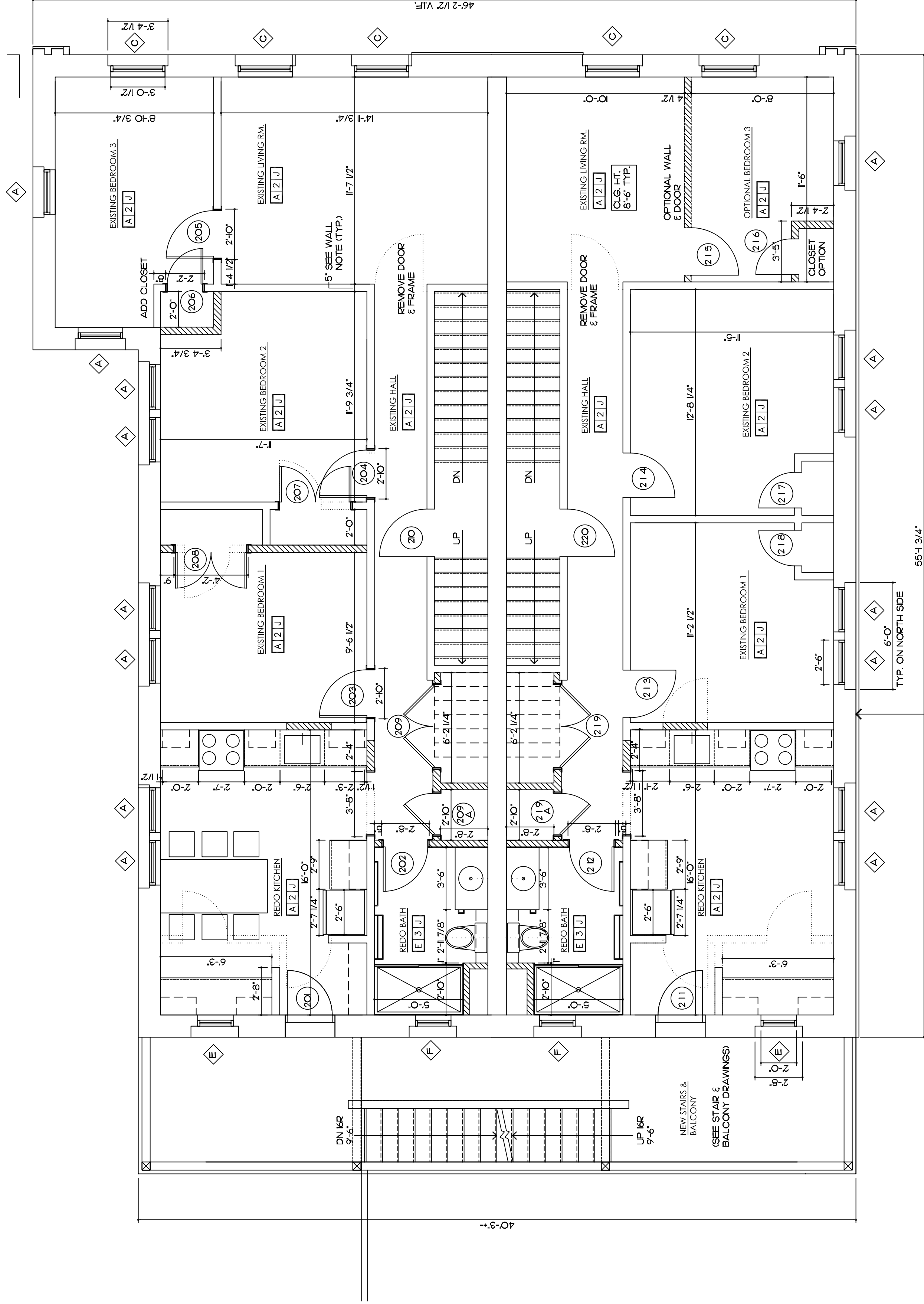
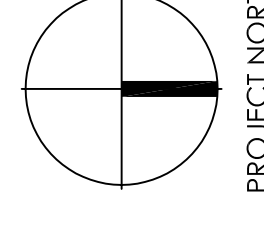
ALL APARTMENT WINDOWS ON SECOND AND THIRD FLOOR TO BE REPLACED. OPENINGS TO BE MEASURED, REMOVE ALL OLD WOOD & REBUILD WITH WOOD, FLASHING & NEW AZEK TRIMMED OPENINGS. WINDOWS TO BE NEW ALUMINUM CLAD CASEMENTS ON ALL SIDES FOR BEDROOM EGRESS SIZING. AT A MINIMUM ANDERSEN E-SERIES WINDOWS WITH A U-FACTOR OF .30 LOW-E GLAZING.

WINDOWS ON THE NORTH SIDE ARE TO HAVE WALL ABOVE WINDOWS TEMPORARILY SUPPORTED WITH STEEL RODS AND PLATE DRILLED INTO BLOCK ABOVE LINTELS. NEW STEEL REINFORCED CONCRETE LINTELS TO BE INSTALLED. PROVIDE NEW PRECAST SILLS. CRACKS IN WALL TO BE FILLED AND WALL WILL BE REFINISHED WITH RIDGID INSULATION BOARDS AND SYNTHETIC STUCCO FINISH.

DOOR NOTE:

ALL INTERIOR DOORS TO BE THREE PANEL MASONITE, REEB 730, SIMPSON OR ROGUE VALLEY WITH SQUARE (SHAKER STYLE) STICKING PRE-PAINTED WHITE. ALL BEDROOM DOORS TO BE MIN. 32" WIDE (SEE DOOR SCHEDULE)

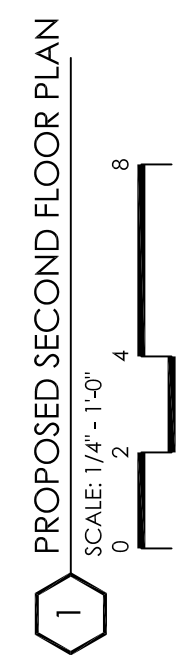
| FINISH LEGEND | |
|----------------------------|------------------------|
| MK FLOOR MATERIAL / FINISH | MK BASE TYPE |
| A LVT OR OTHER | 1 1/4" RUBBER OR VINYL |
| B PLYWD. FLOOR | 2 WOOD |
| C PLYWD. W/ CARPET TILE | 3 TILE |
| D PATCH CONC. FLOOR | 4 NO BASE |
| E | N UNFINISHED CMU |
| F | |



SEE WINDOW NOTES FOR INSTALLING NEW WINDOWS & RESTORING & REFINISHING ENTIRE WALL

WALL DIMENSION NOTE:

MANY WALL DIMENSIONS ARE TO EXISTING WALLS THAT ARE NOT MOVING BUT ARE BEING REFINISHED. VERIFY ALL EXISTING WALL LOCATIONS & DIMS.

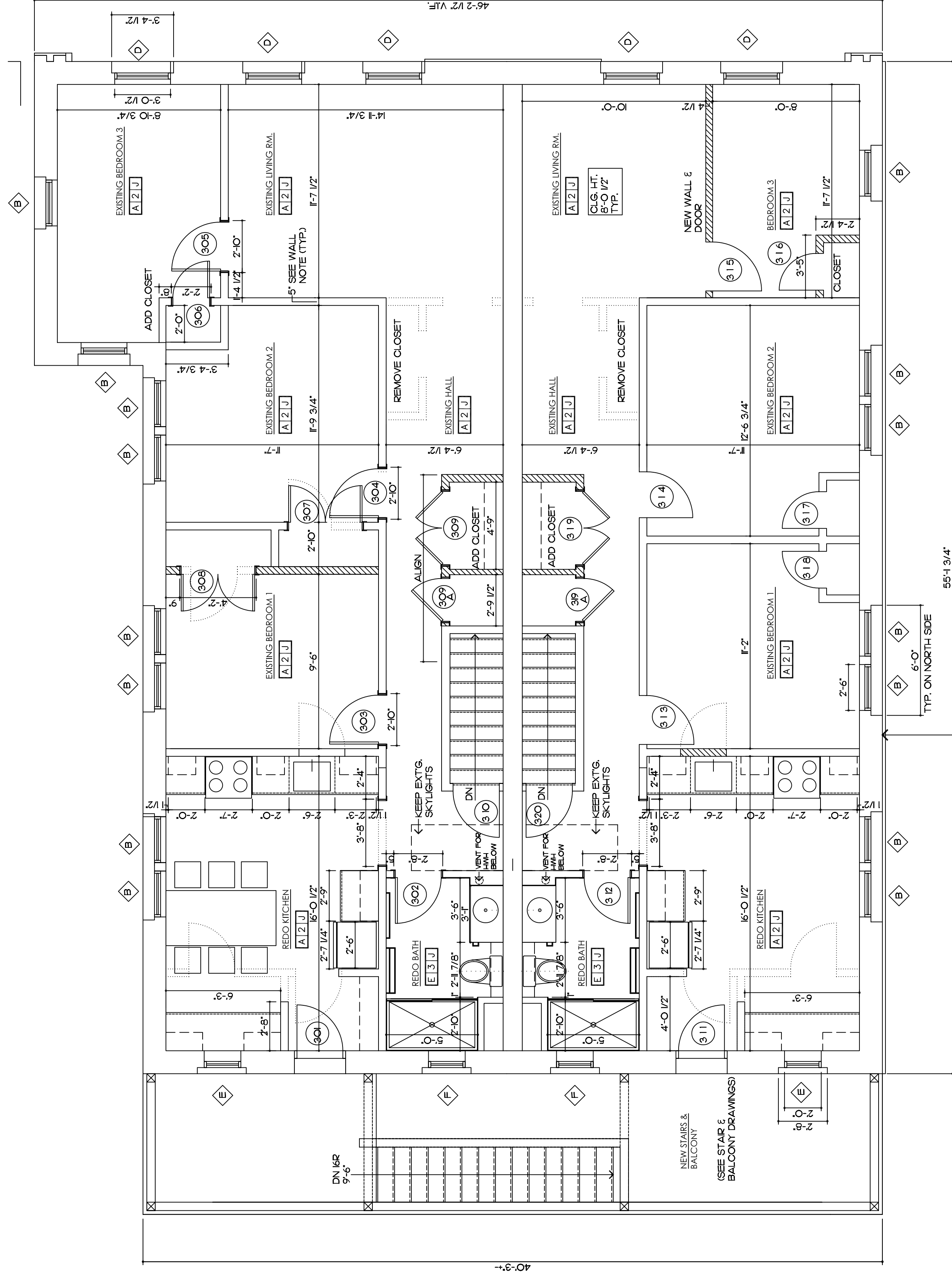


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| | | DESCRIPTION | BY |

ROBERT F. KRAUSE / ARCHITECT
414 NORTH WASHINGTON AVENUE
DUNELLEN, NJ 08812 732.781-6116

PRIME 144 SOMERSET LLC
APARTMENT RENOVATION
144 SOMERSET STREET
NORTH PLAINFIELD, NJ
PROPOSED SECOND FLOOR PLAN

PROJECT NUMBER: 2204
SCALE: 1/4"=1'-0"
DRAWN BY: RFK
CHECKED BY: RFK
DATE: 24 JULY 2022
DRAWING NUMBER: A-102
A-102-FEB23



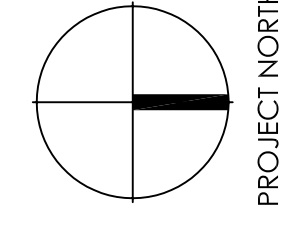
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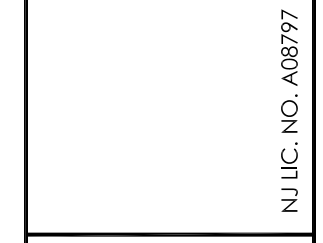
1 PROPOSED THIRD FLOOR PLAN
SCALE: 1/4" = 1'-0"

| FINISH LEGEND | | BASE WALL FINISH | |
|----------------------------|----------------------|---------------------|--------------|
| MM FLOOR MATERIAL / FINISH | MM BASE TYPE | JK WALL FINISH | JK FLOOR |
| A LVT OR OTHER | 1 4" RUBBER OR VINYL | J PRIME & PAINT GWB | J UNFINISHED |
| B PLYWD FLOOR | 2 WOOD | K EXPOSED BRICK | K UNFINISHED |
| C PLYWD W/ CARPET TILE | 3 TILE | L PTD. BRICK | L UNFINISHED |
| D PATCH CONC. FLOOR | 4 NO BASE | M PAINTED CMU | M UNFINISHED |
| E TILE | | N UNFINISHED CMU | N UNFINISHED |
| F | | | |



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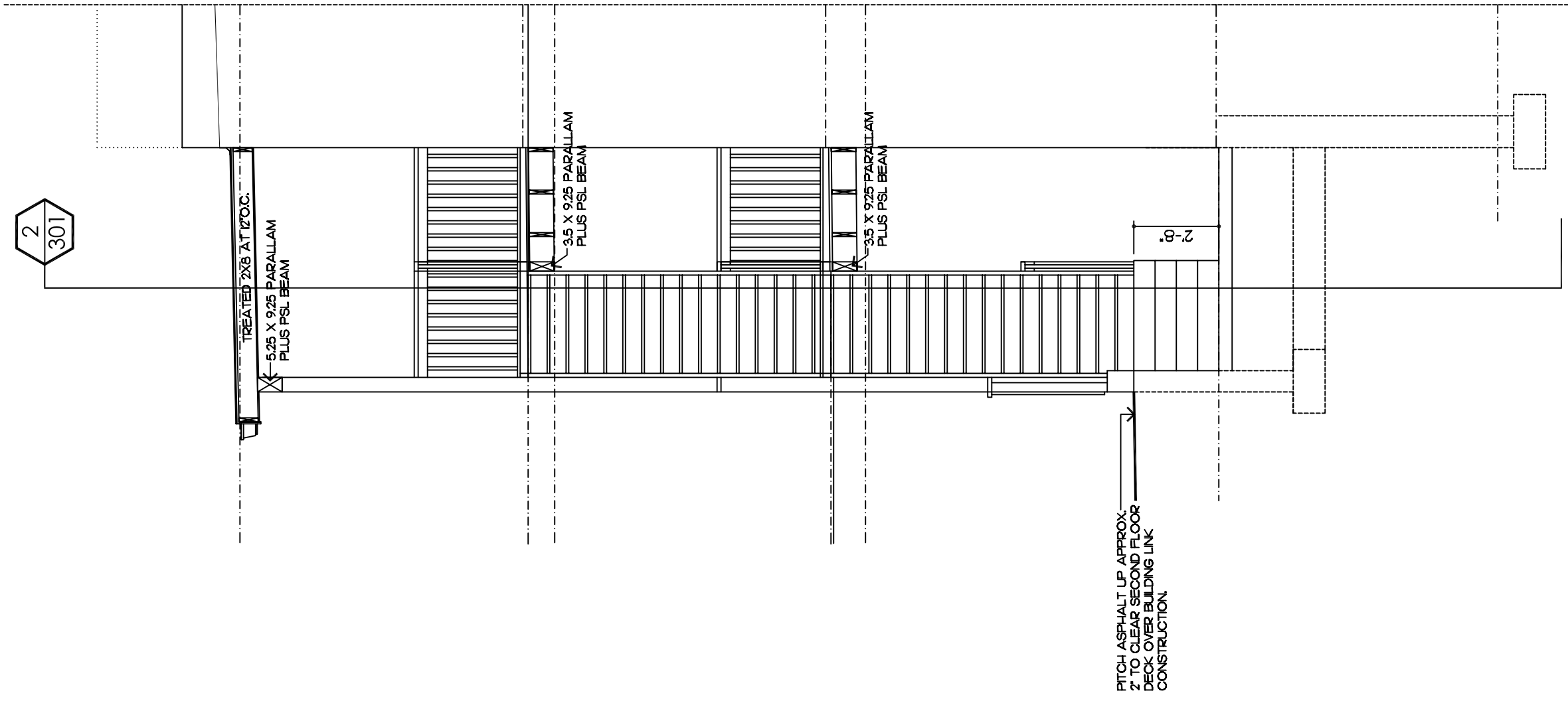


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NORTH PLAINFIELD, NJ

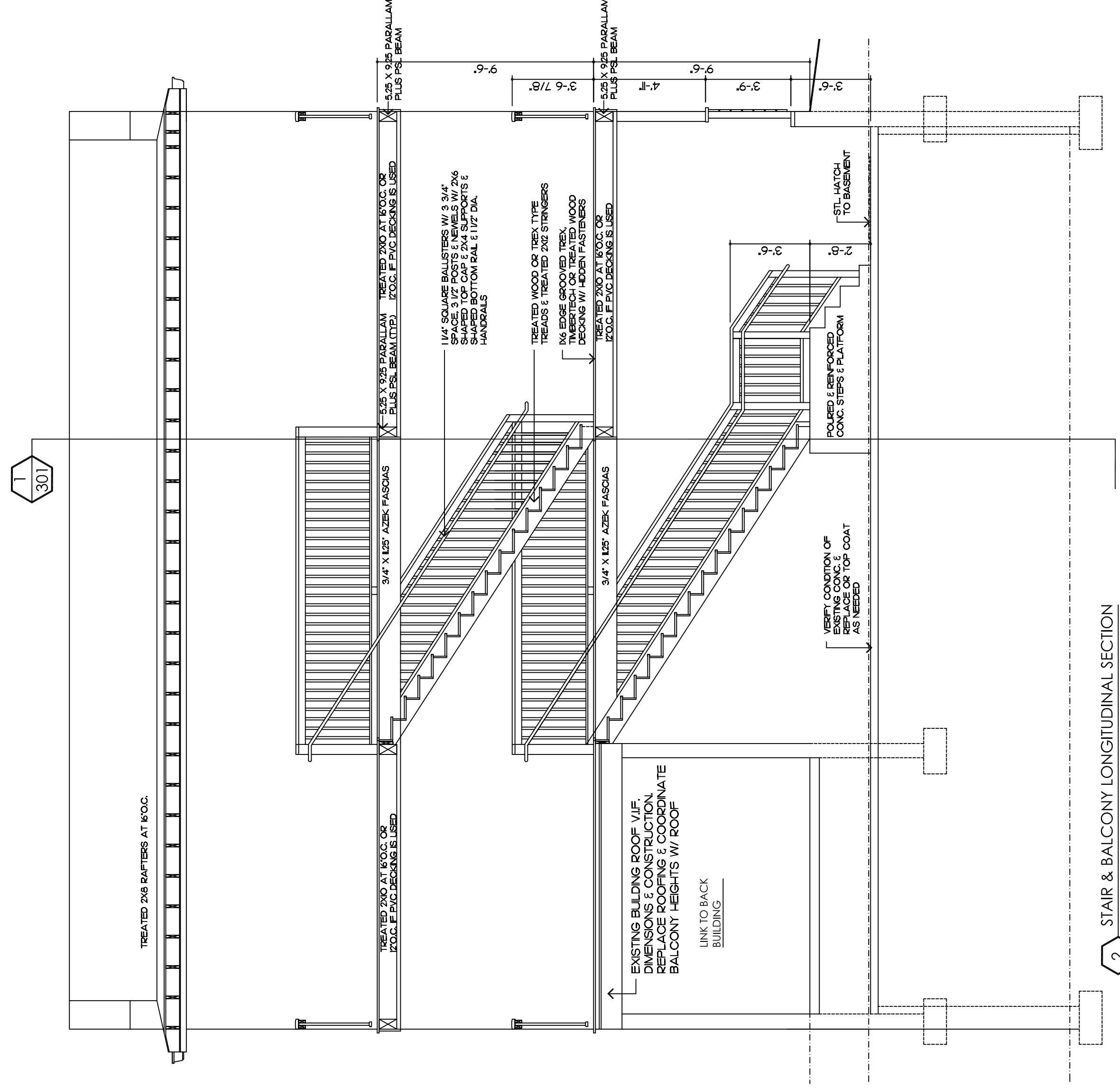
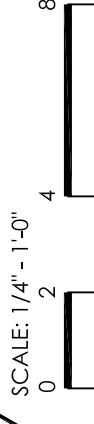
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DRAWING NUMBER A-103
A-103-FEB23

PROPOSED THIRD FLOOR PLAN

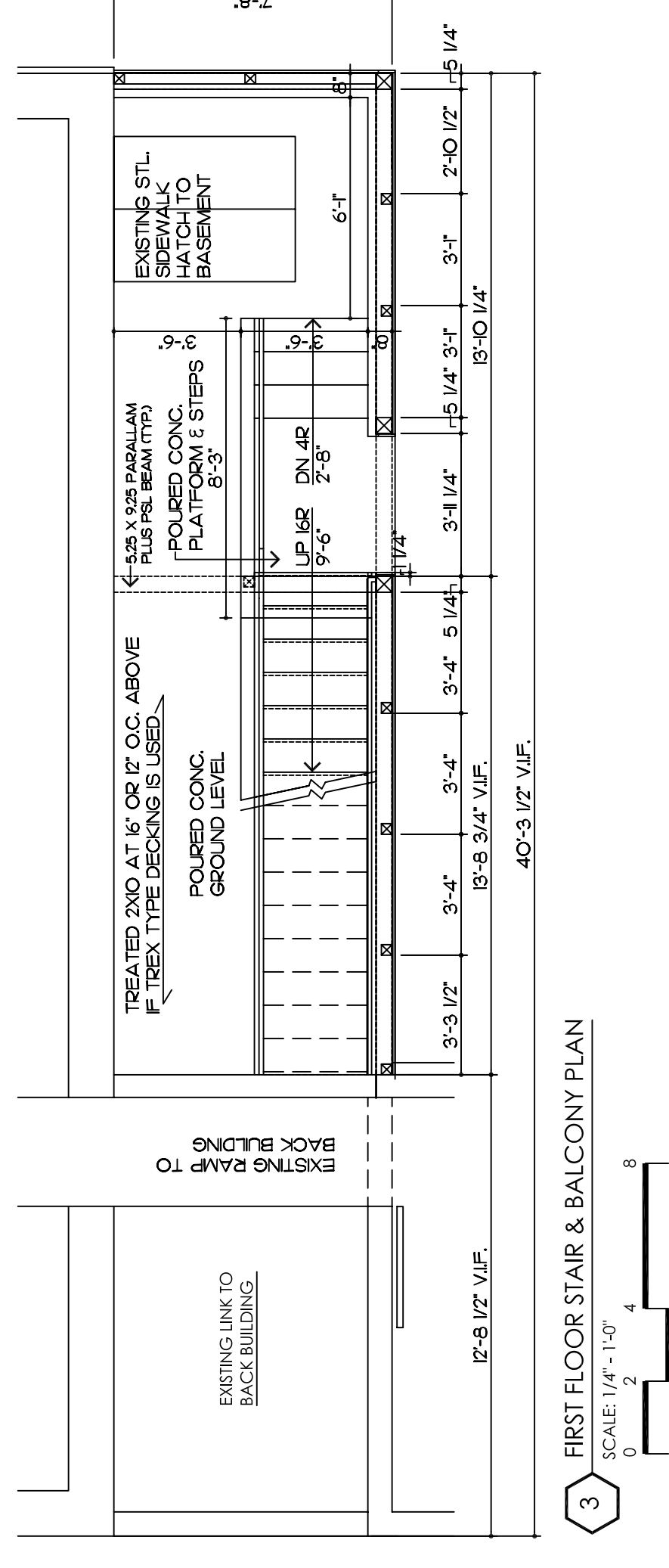
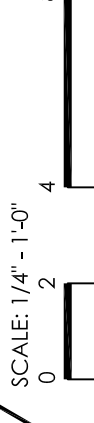
N.J.I.C. NO. A08797



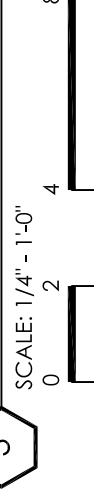
1 STAIR & BALCONY CROSS SECTION
SCALE 1/4" = 1'-0"



2 STAIR & BALCONY LONGITUDINAL SECTION
SCALE 1/4" = 1'-0"



3 FIRST FLOOR STAIR & BALCONY PLAN
SCALE 1/4" = 1'-0"



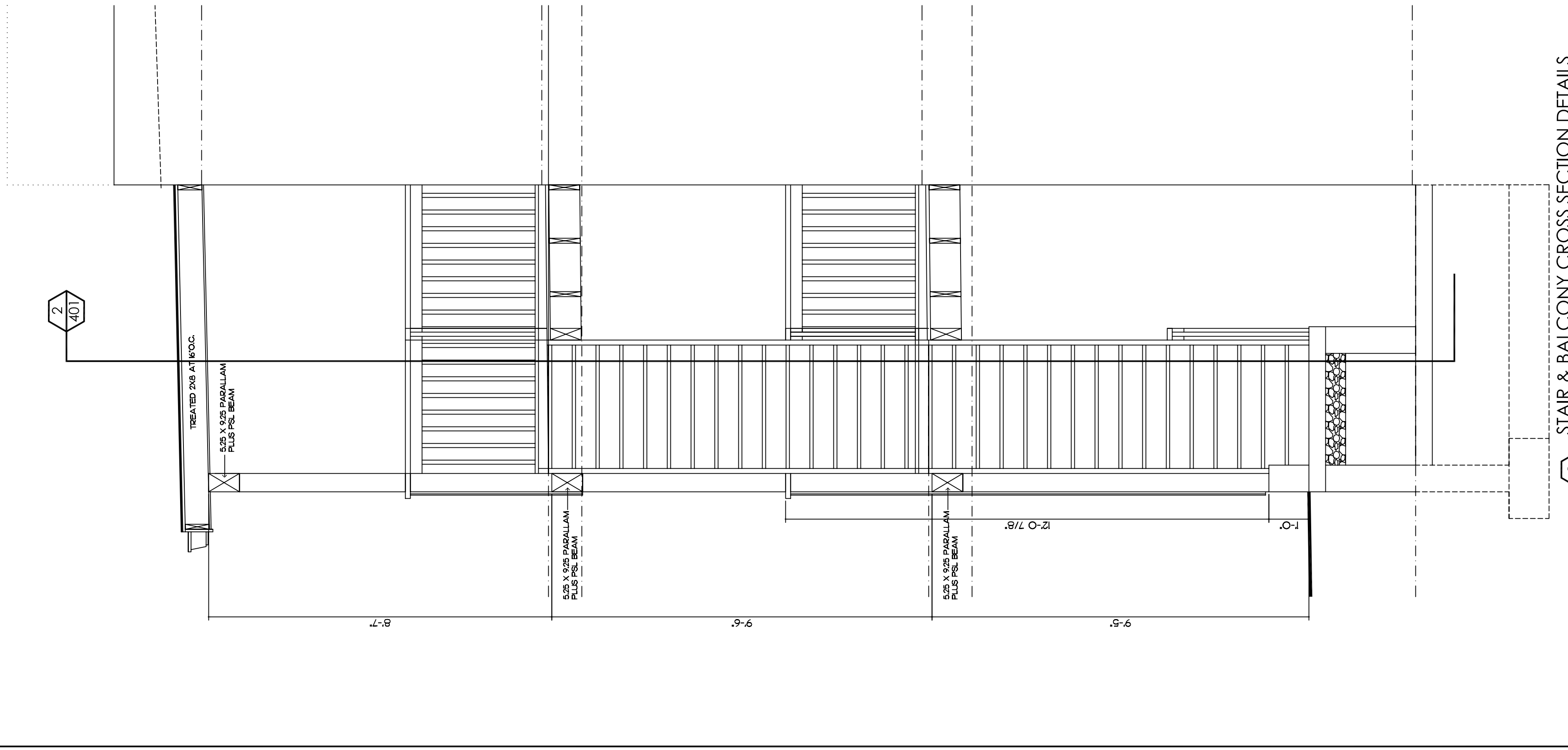
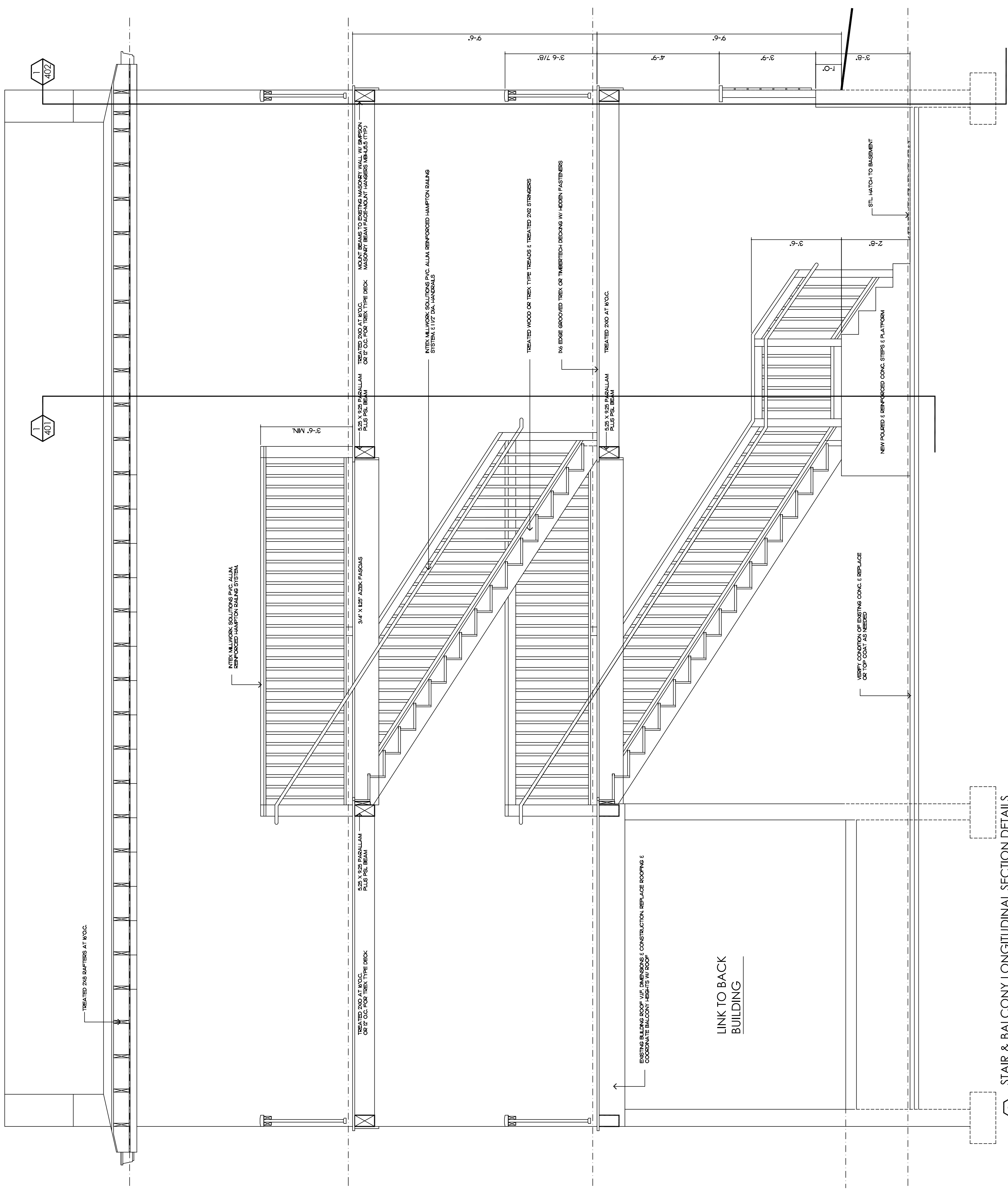
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| 4 | 3/15/2023 | GENERAL REVISIONS | BK |
| 3 | 2/24/2023 | GENERAL REVISIONS | BK |
| 2 | 8/10/2022 | GENERAL REVISIONS | BK |
| 1 | 8/2/2022 | GENERAL REVISIONS | BK |

ROBERT F. KRAUSE / ARCHITECT
414 NORTH WASHINGTON AVENUE
DUNELLEN, NJ 08812 732 781-6116

PRIME 144 SOMERSET LLC
APARTMENT RENOVATION
144 SOMERSET STREET
NORTH PLAINFIELD, NJ
STAIR & BALCONY SECTIONS & PLAN

PROJECT NUMBER 2204
SCALE 1/4" = 1'-0"
DRAWN BY RFK
CHECKED BY RFK
DATE 24 JULY 2022
NJ LIC. NO.: AB9797

DRAWING NUMBER
A-301
A-301-FEB23



| REV. | DATE | DESCRIPTION | BY |
|------|-----------|-------------------|----|
| 4 | 3/15/2023 | GENERAL REVISIONS | BK |
| 3 | 2/24/2023 | GENERAL REVISIONS | BK |
| 2 | 8/10/2022 | GENERAL REVISIONS | BK |
| 1 | 8/2/2022 | GENERAL REVISIONS | BK |

N.J.L.C. NO. A08797

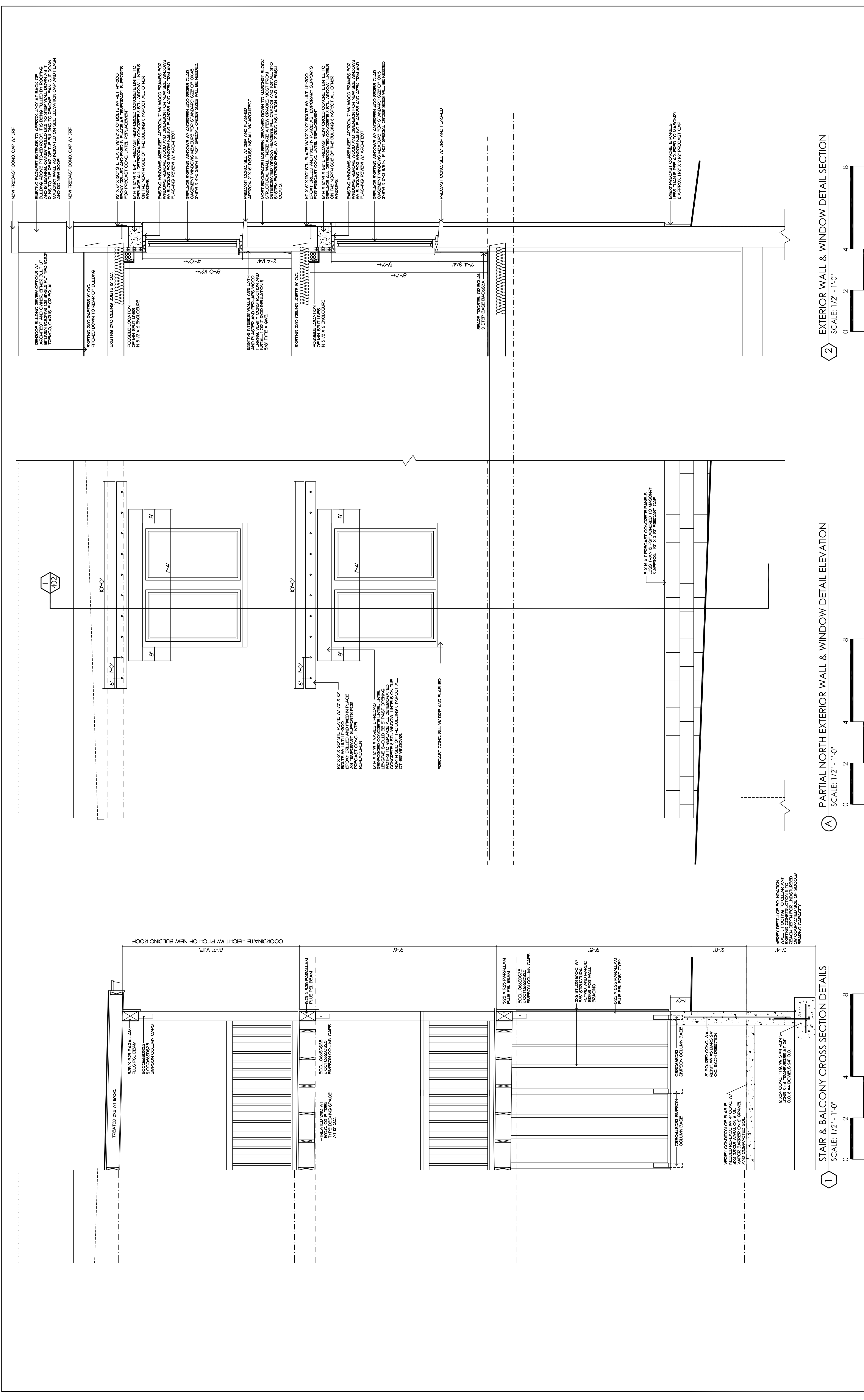
ROBERT F. KRAUSE / ARCHITECT
 414 NORTH WASHINGTON AVENUE
 DUNELLEN, NJ 08812 732.781-6116

PRIME 144 SOMERSET LLC
 APARTMENT RENOVATION
 144 SOMERSET STREET
 NORTH PLAINFIELD, NJ

STAIR & BALCONY DETAILS

PROJECT NUMBER 2204
 SCALE 1/2" = 1'-0"
 DRAWN BY RFK
 CHECKED BY RFK
 DATE 24 JULY 2022

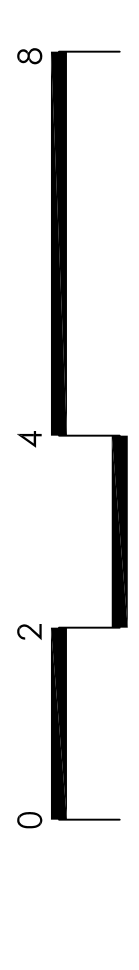
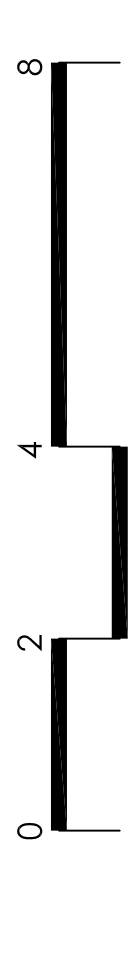
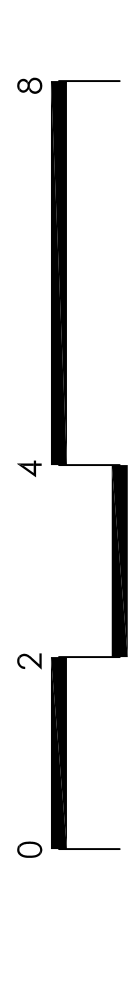
DRAWING NUMBER
A-401
 A-401-FEB23



2 EXTERIOR WALL & WINDOW DETAIL SECTION
SCALE: 1/2" = 1'-0"

A PARTIAL NORTH EXTERIOR WALL & WINDOW DETAIL ELEVATION
SCALE: 1/2" = 1'-0"

1 STAIR & BALCONY CROSS SECTION DETAILS
SCALE: 1/2" = 1'-0"

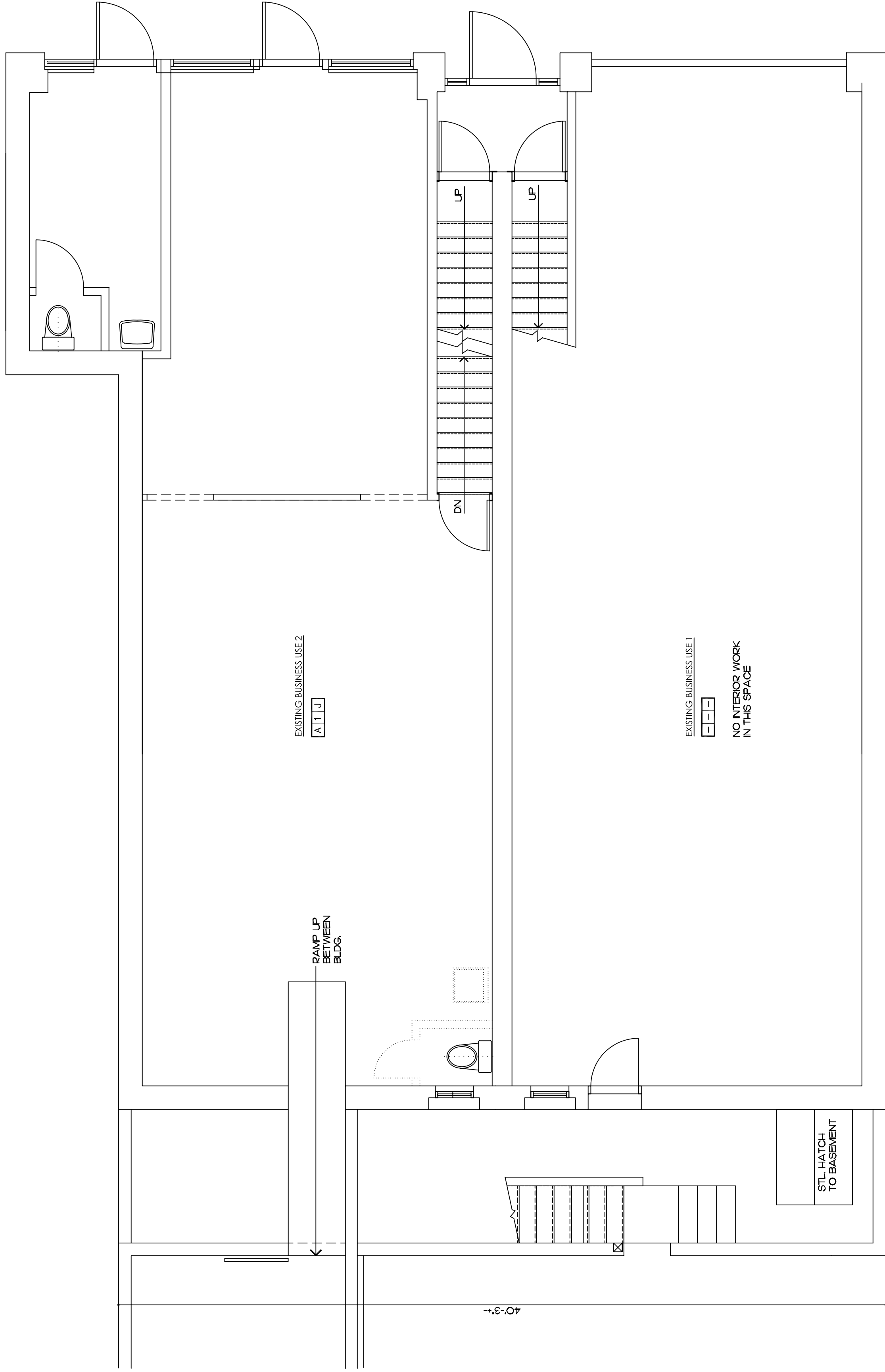


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| 4 | 3/15/2023 | GENERAL REVISIONS | BK |
| 3 | 2/24/2023 | GENERAL REVISIONS | BK |
| 2 | 8/10/2022 | GENERAL REVISIONS | BK |
| 1 | 8/2/2022 | GENERAL REVISIONS | BK |

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|----------------|--------------|
| PROJECT NUMBER | 2204 |
| SCALE | 1/2"=1'-0" |
| DRAWN BY | RFK |
| CHECKED BY | RFK |
| DATE | 24 JULY 2022 |

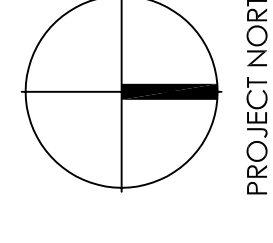
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| PRIME 144 SOMERSET LLC APARTMENT RENOVATION 144 SOMERSET STREET NORTH PLAINFIELD, NJ | ROBERT F. KRAUSE / ARCHITECT 414 NORTH WASHINGTON AVENUE DUNELLEN, NJ 08812 732.781-6116 |
|---|--|

| | |
|---|----------------------|
| EXTERIOR BALCONY, WALL & WINDOW DETAILS | N.J. LIC. NO. A08797 |
|---|----------------------|



1 EXISTING FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

| FINISH LEGEND | | BASE FLOOR | BASE FINISH |
|-----------------------------|-----------------------|----------------------|----------------------|
| MK1 FLOOR MATERIAL / FINISH | MK1 BASE TYPE | MK1 WALL FINISH | MK1 WALL FINISH |
| A. LVT OR OTHER | 1. 4" RUBBER OR VINYL | J. PRIME & PAINT GWB | J. PRIME & PAINT GWB |
| B. PLYND. FLOOR | 2. WOOD | K. EXPOSED BRICK | K. EXPOSED BRICK |
| C. PLYND. W/ CARPET TILE | 3. TILE | L. FTD. BRICK | L. FTD. BRICK |
| D. PATCH CONC. FLOOR | 4. NO BASE | M. PAINTED CMU | M. PAINTED CMU |
| E. | | N. UNFINISHED CMU | N. UNFINISHED CMU |
| F. | | | |



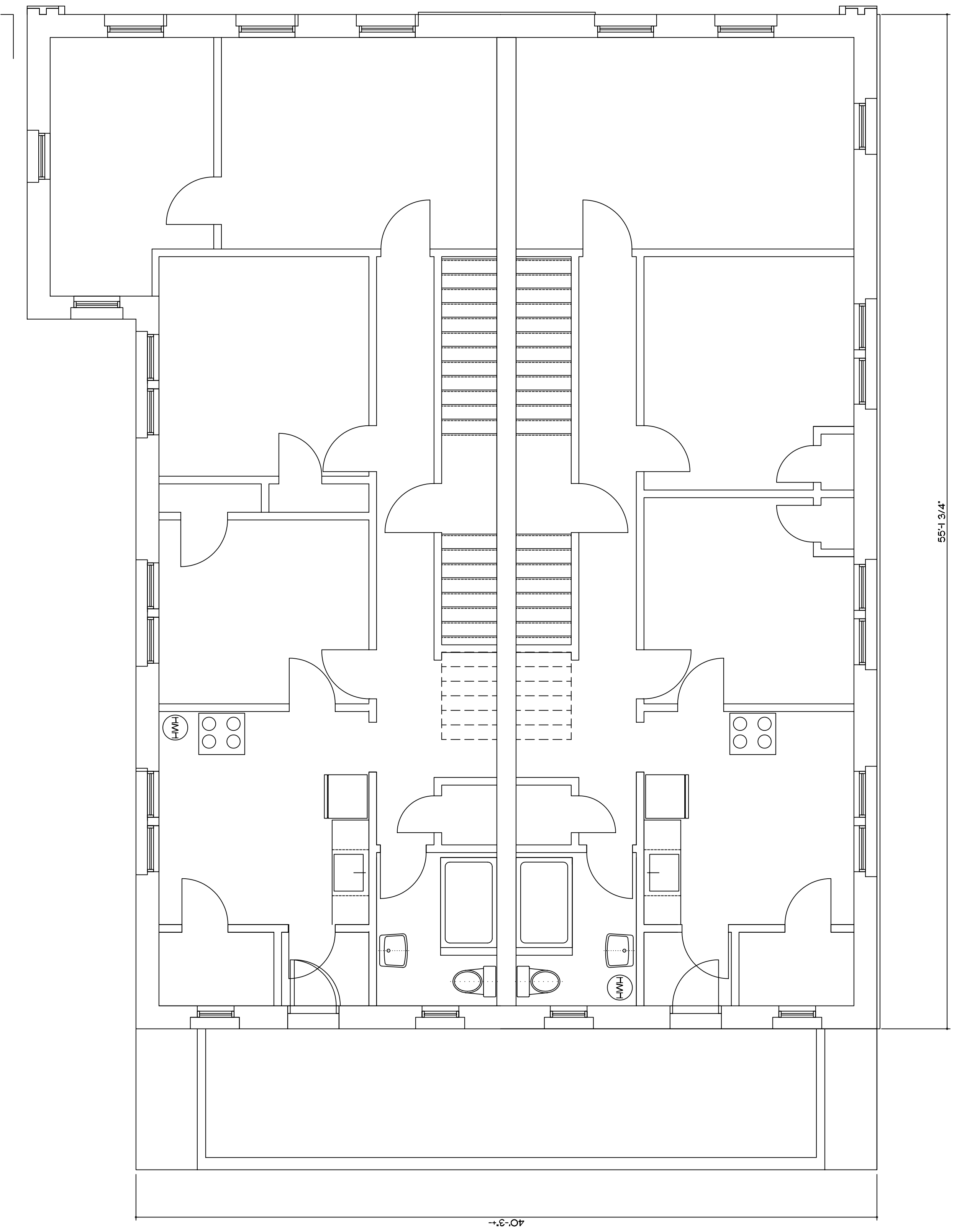
| REV. | DATE | DESCRIPTION | BY |
|------|------|-------------|----|
| 1 | - | - | BK |

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 DUNELLEN, NJ 08812 732 781-6116

N.J.U.C. NO. A08797

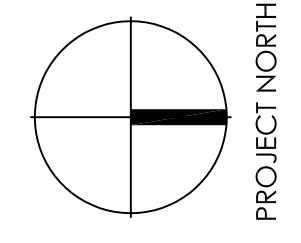
PRIME 144 SOMERSET LLC
 APARTMENT RENOVATION
 144 SOMERSET STREET
 NORTH PLAINFIELD, NJ
 EXISTING FIRST FLOOR PLAN

PROJECT NUMBER 2204
 SCALE 1/4"=1'-0"
 DRAWN BY RFK
 CHECKED BY RFK
 DATE 24 JULY 2022
 DRAWING NUMBER **E-101**
 E-101-FEB23



1 EXISTING SECOND FLOOR PLAN
 SCALE: 1/4" = 1'-0"
 0 2 4 8

| FINISH LEGEND | | BASE TYPE | | BASE FINISH | |
|---------------|-----------------------|-----------|--------------------|-------------|-------------------|
| MK | FLOOR MATERIAL/FINISH | MK | BASE TYPE | MK | WALL FINISH |
| A | LVT OR OTHER | 1 | 4" RUBBER OR VINYL | J | PRIME & PAINT GWB |
| B | PLYWD. FLOOR | 2 | WOOD | K | EXPOSED BRICK |
| C | PLYWD W/ CARPET TILE | 3 | TILE | L | P.TD. BRICK |
| D | PATCH CONC. FLOOR | 4 | NO BASE | M | PAINTED CMU |
| E | | | | N | UNFINISHED CMU |
| F | | | | | |



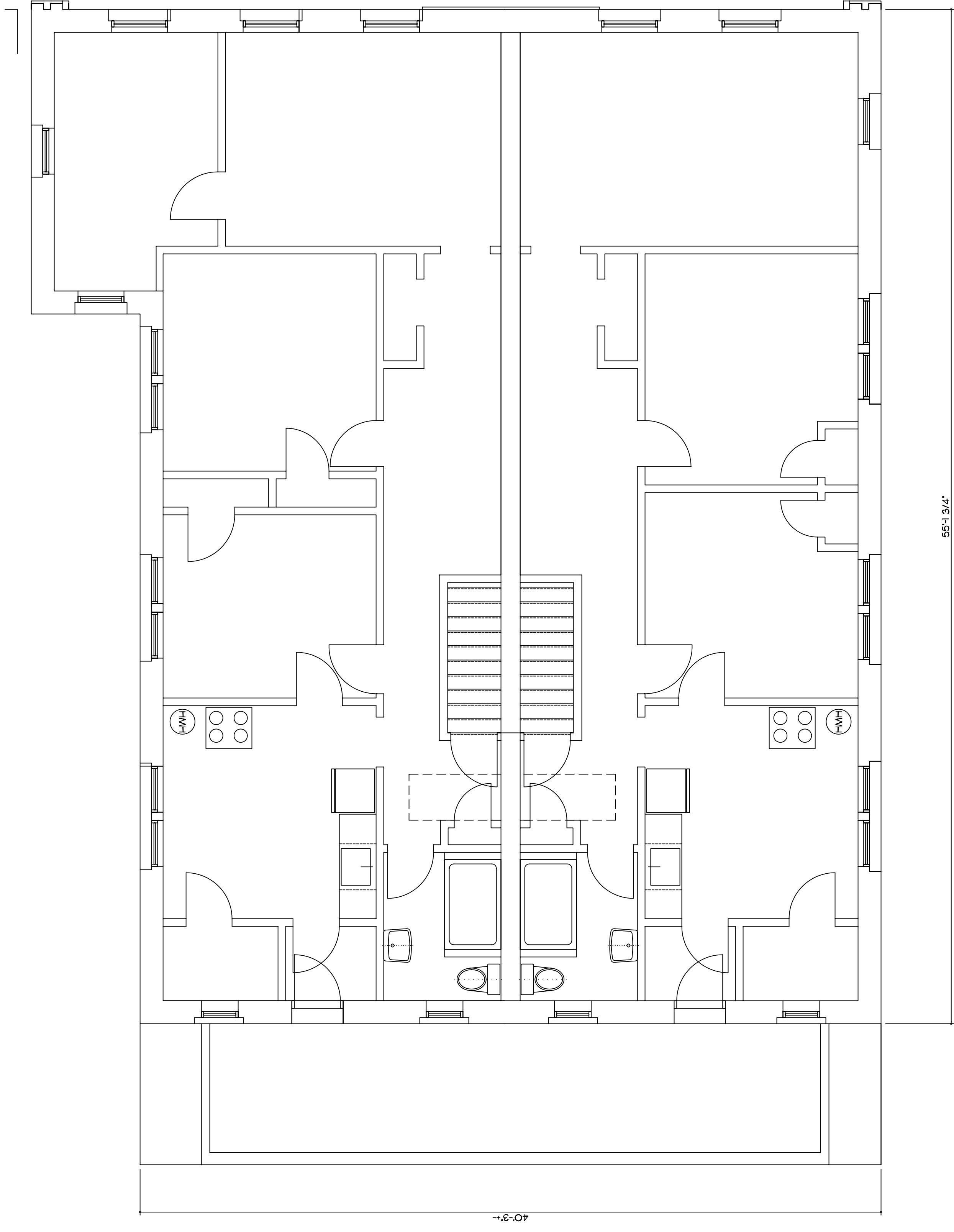
| REV. | DATE | DESCRIPTION | BK | BY |
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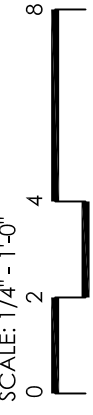
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PRIME 144 SOMERSET LLC
 APARTMENT RENOVATION
 144 SOMERSET STREET
 NORTH PLAINFIELD, NJ
 EXISTING SECOND FLOOR PLAN

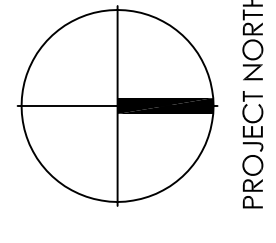
PROJECT NUMBER 2204
 SCALE 1/4" = 1'-0"
 DRAWN BY RFK
 CHECKED BY RFK
 DATE 24 JULY 2022
 DRAWING NUMBER
E-102
 E-102-FEB23



1 EXISTING THIRD FLOOR PLAN
SCALE: 1/4" = 1'-0"



| FINISH LEGEND | | BASE | WALL | FLOOR | |
|---------------|-----------------------|------|--------------------|-------|-------------------|
| MK | FLOOR MATERIAL/FINISH | MK | BASE TYPE | MK | WALL FINISH |
| A | LVT OR OTHER | 1 | 4" RUBBER OR VINYL | J | PRIME & PAINT GWB |
| B | PLYWD. FLOOR | 2 | WOOD | K | EXPOSED BRICK |
| C | PLYWD. W/ CARPET TILE | 3 | TILE | L | PTD. BRICK |
| D | PATCH CONC. FLOOR | 4 | NO BASE | M | PAINTED CMU |
| E | | | | N | UNFINISHED CMU |
| F | | | | | |



| REV. | DATE | DESCRIPTION | BY |
|------|------|-------------|----|
| | | | |
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ROBERT F. KRAUSE / ARCHITECT
414 NORTH WASHINGTON AVENUE
DUNELLEN, NJ 08812 732.781-6116



NJ LIC. NO. A08997

PRIME 144 SOMERSET LLC

APARTMENT RENOVATION
144 SOMERSET STREET
NORTH PLAINFIELD, NJ

EXISTING THIRD FLOOR PLAN

| PROJECT NUMBER | 2204 | DRAWING NUMBER | E-103 |
|----------------|--------------|----------------|-------|
| SCALE | 1/4" = 1'-0" | | |
| DRAWN BY | RFK | | |
| CHECKED BY | RFK | | |
| DATE | 24 JULY 2022 | | |

E-103-FEB23

LIGHTING & ELECTRICAL KEY

- CEILING MOUNTED LED FIXTURE
- UNDERCABINET LED STRIP FIXTURE
- SMALL CEILING MOUNTED OR RECESSED LED FIXTURE
- EXTERIOR WET LOCATION WALL MOUNTED LED FIXTURE W/ MOTION SENSOR
- INTERIOR WET LOCATION WALL MOUNTED VANITY LED FIXTURE
- INTERIOR WET LOCATION CEILING RECESSED EXHAUST FAN & LED LIGHT
- COMBINED CO & SMOKE DETECTOR HARDWIRED W/ BATTERY BACKUP OR AS APPROVED BY LOCAL FIRE INSPECTOR
- SMOKE DETECTOR HARDWIRED W/ BATTERY BACKUP OR AS APPROVED BY LOCAL FIRE INSPECTOR
- SINGLE POLE SWITCH
- 3 WAY OR 4 WAY LIGHT SWITCH
- DIMMER LIGHT SWITCH
- DUPLEX OUTLET
- DEDICATED OUTLET
- QUAD OUTLET
- ELECTRIC SUB PANEL FOR EACH UNIT

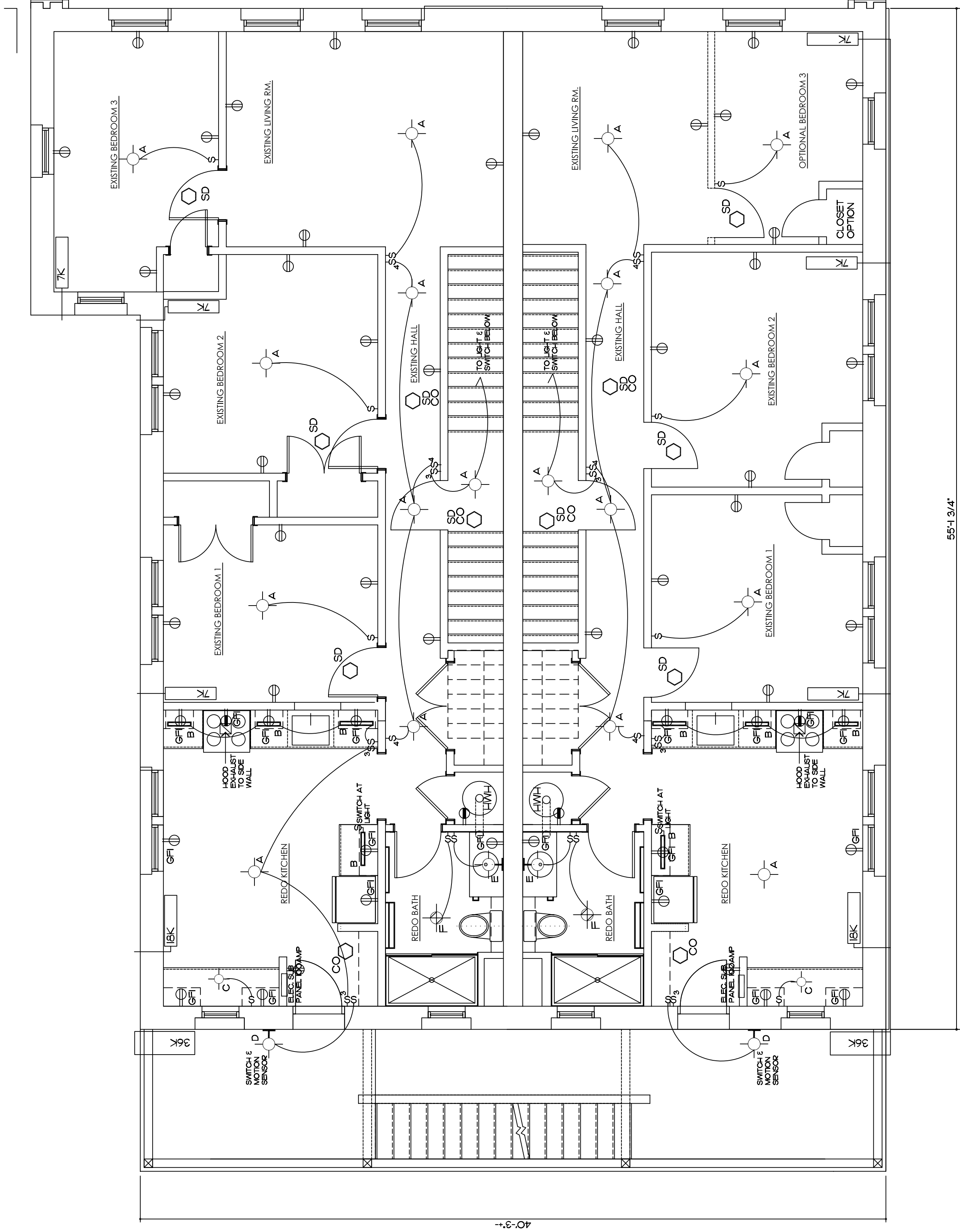
HVAC KEY & NOTES

BASIS OF DESIGN IS FUJITSU HALCYON XLTH MULTI ZONE MINI SPLIT SYSTEM. IF OTHER MANUFACTURER IS SELECTED IT SHOULD BE EQUAL AND APPROVED BY ARCHITECT AND OWNER.

ONE SUBCONTRACTOR WOULD LIKE TO USE COOPER & HUNTER UNITS 9K BTU IS SMALLEST INDOOR UNIT, SIZED TO BALANCE SYSTEM USE MULTI ZONE SYSTEM W/ JUST ONE EXTERIOR UNIT FOR EACH APARTMENT

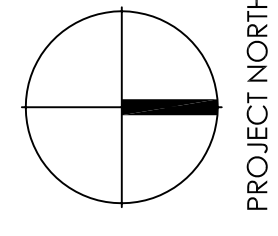
- 36K AOU36RLXZH NON DUCTED 36,000 BTU/H EXTERIOR UNIT MOUNTED ON BACK WALL OR DECK. TO HANDLE 4 INDOOR UNITS
- 7K ASUH07LPAS 7,000 BTU/H INDOOR WALL MOUNTED HEATING & COOLING UNIT
- 18K ASUH18LPAS 18,000 BTU/H INDOOR WALL MOUNTED HEATING & COOLING UNIT
- HWH BRADFORD WHITE, A.O.SMITH OR EQUAL HIGH EFFICIENCY GAS FIRED HOT WATER HEATED VENT TO ROOF OR TO OUTSIDE WALL

ALTERNATE: GAS FIRED TANKLESS WATER HEATER RINNAI RSC160IN, RHEEM 9.5 GPM OR EQUAL OR OPTION OF ELECTRIC TANKLESS WATER HEATERS RHEEM 4.68GPM IN EACH UNIT IN KITCHEN OR ENTRY. GAS UNITS IN EACH APARTMENT MUST VENT TO OUTSIDE. DISCUSS OPTIONS W/ OWNER



1 PROPOSED SECOND FLOOR MEP PLAN
SCALE: 1/4" = 1'-0"

| FINISH LEGEND | | BASE FLOOR | BASE FINISH |
|----------------------------|-----------------------|----------------------|-------------|
| MK FLOOR MATERIAL / FINISH | MK BASE TYPE | 1 | 2 |
| A. LVT OR OTHER | 1. 4" RUBBER OR VINYL | J. PRIME & PAINT GMB | |
| B. PLYMD. FLOOR | 2. WOOD | K. EXPOSED BRICK | |
| C. PLYMD. W/ CARPET TILE | 3. TILE | L. FTD. BRCK | |
| D. PATCH CONC. FLOOR | 4. NO BASE | M. PAINTED GMB | |
| E. | | N. UNFINISHED GMB | |
| F. | | | |



| REV. | DATE | DESCRIPTION | BY |
|------|-----------|-------------------|----|
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| 1 | - | - | BK |

ROBERT F. KRAUSE / ARCHITECT
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DUNELLEN, NJ 08812 732.781-6116

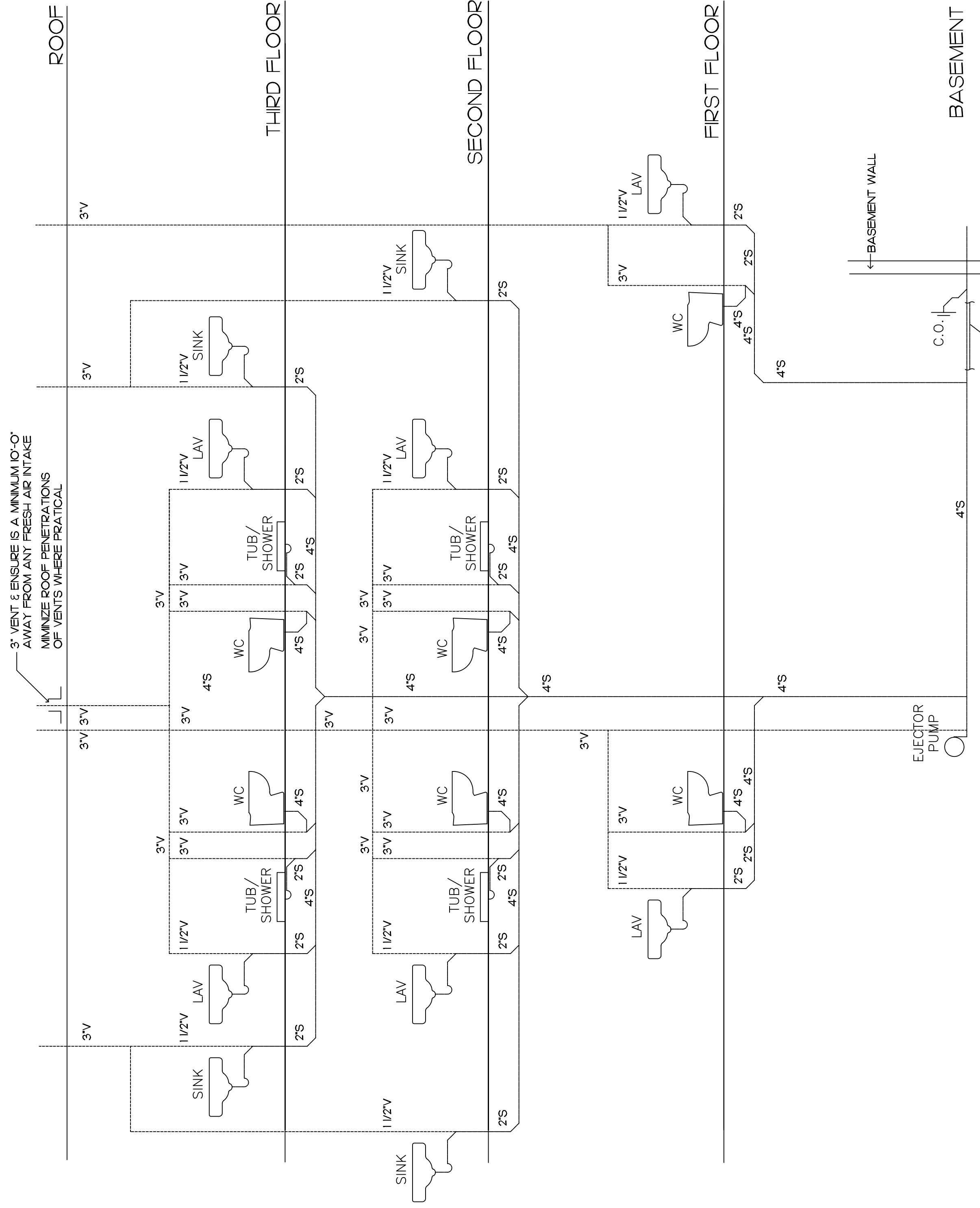
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PRIME 144 SOMERSET LLC
APARTMENT RENOVATION
144 SOMERSET STREET
NORTH PLAINFIELD, NJ

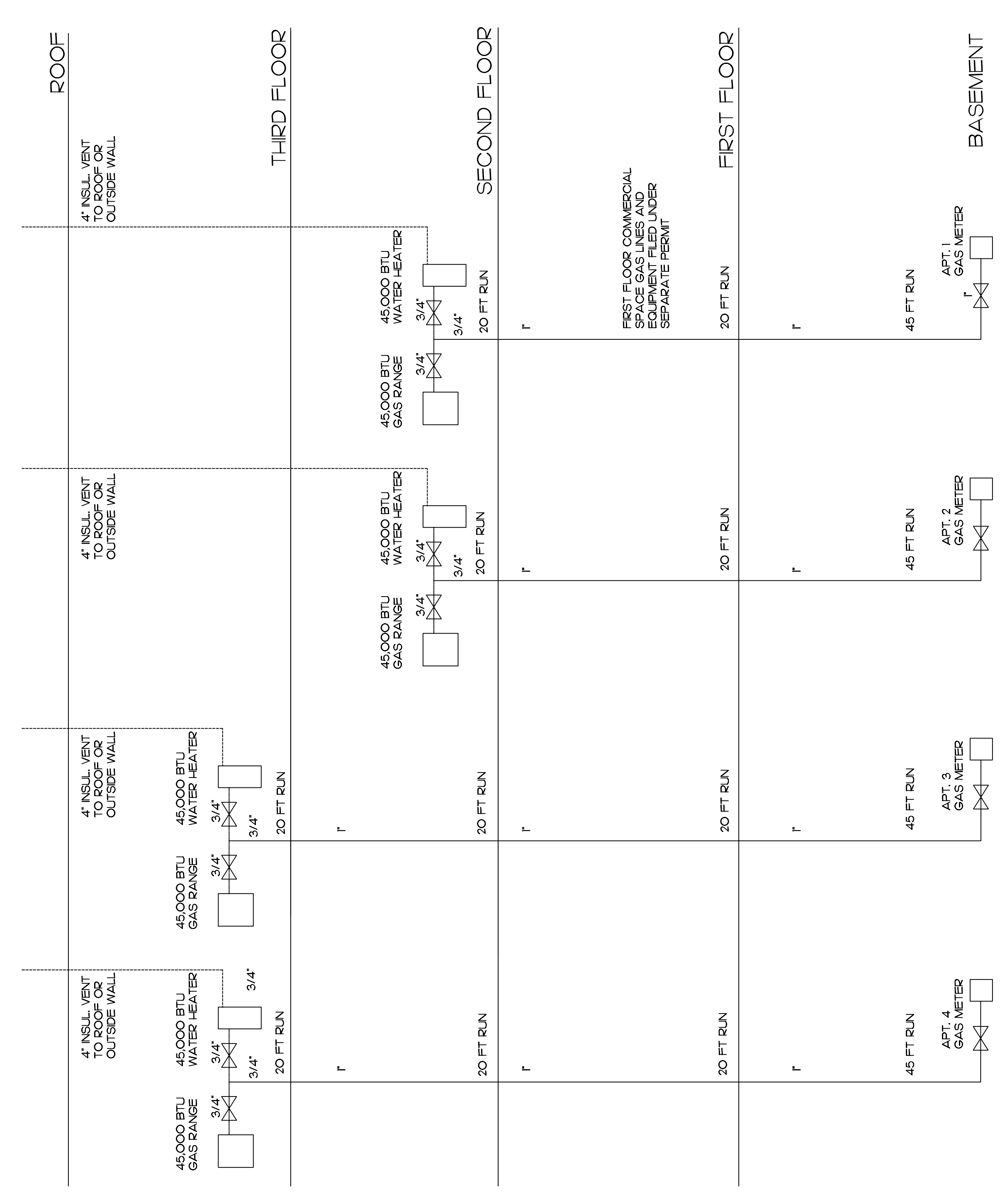
PROJECT NUMBER 2204
SCALE 1/4" = 1'-0"
DRAWN BY RFK
CHECKED BY RFK
DATE 24 JULY 2022
MEP-102-FEB23

MEP-102

PROPOSED SECOND FLOOR MEP PLAN



1 PLUMBING RISER DIAGRAM
NTS



2 GAS RISER DIAGRAM
NTS

| REV. | DATE | DESCRIPTION | BY |
|------|-----------|--------------------|----|
| 3 | 3/25/2023 | GAS RISER REVISION | BK |
| 4 | 3/15/2023 | GENERAL REVISIONS | BK |
| 1 | 3/8/2023 | RISER DIAGRAMS | BK |

ROBERT F. KRAUSE / ARCHITECT
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DUNELLEN, NJ 08812 732 781-6116

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144 SOMERSET STREET
NORTH PLAINFIELD, NJ

PROJECT NUMBER 2204
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CHECKED BY RFK
DATE 24 JULY 2022
DRAWING NUMBER
MEP-104
MEP-104-FEB23